



The Pennsylvania Housing Research Center

A Quick Guide to the Residential Provisions of Pennsylvania's Uniform Construction Code and Local Amendments

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A Quick Guide to the Residential Provisions of Pennsylvania’s Uniform Construction Code and Local Amendments

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An Overview of this Guide

This guide focuses on the *residential* provisions of the Uniform Construction Code (UCC)¹, which defines *residential* structures as one- and two-family dwellings and townhouses that are three stories or less in height above grade, and accessory structures to these types of buildings.

Part 1 of this guide contains a brief summary of the UCC, along with an explanation for why there is a patchwork of code requirements found across the Commonwealth of Pennsylvania. Part 1 also provides an explanation of the types of amendments to the UCC that can be found in Pennsylvania municipalities. It also includes information regarding applying for permits, when a permit is or is not required and other important information contained in the UCC related to residential applications of the code such as the time frame for decision, fees, and filing appeals.

Part 2 of this guide contains a series of maps indicating which Pennsylvania municipalities are on record or have self-reported through a separate PHRC project² as having amendments to the UCC. The first map is a map of the entire Commonwealth, and subsequent maps show each county in Pennsylvania on a separate page. These county maps are accompanied by tables showing available information on what aspects of construction these amendments regulate.

¹ Uniform Construction Code Statute 35 P.S. §§7210.101 to 7210.1103. Act 45 of 1999 as amended. Available online at <http://www.portal.state.pa.us/portal/server.pt?open=514&objID=552999&mode=2>

² Kasal, B., Turns, M., *Impact of the Uniform Construction Code in Rural Pennsylvania*, the Center for Rural Pennsylvania: A Legislative Agency of the Pennsylvania General Assembly, September 2010.

Part 1 – An Overview of the Uniform Construction Code

I. Variations in the Uniformity of the Uniform Construction Code

In the Pennsylvania Construction Code Act (Act 45 of 1999), policymakers cited several reasons for adopting a commonwealth-wide construction code in Pennsylvania. One of these reasons was, “to encourage standardization and economy in construction by providing requirements for construction and construction materials consistent with nationally recognized standards,” or in other words, to create uniformity. However, many townships, boroughs and cities in Pennsylvania have amendments to the commonwealth’s Uniform Construction Code (UCC) that impose additional requirements to those contained in the state law and the adopted building codes.

In 1999, the legislature gave each municipality the choice to opt-in or opt-out of administering and enforcing the UCC. About 92 percent of Pennsylvania municipalities chose to opt-in, meaning they are responsible for enforcing UCC building codes through municipal building officials or contracts with certified third-party agencies. Each *opt-in* municipality must have a single, designated *Building Code Official*, who is the person ultimately responsible for building code enforcement in that municipality. In *opt-out* municipalities, it is the responsibility of the building owner to obtain a permit from a certified third-party agency (Sec 403.103).

To determine whether a project will be located in an opt-in or an opt-out jurisdiction, interested parties can contact the municipality, or visit the Department of Labor and Industry’s *Uniform Construction Code* webpage, click on the “Local Enforcement” tab, and then follow the “Municipal Elections and Contact Information” link.

Two types of amendments

Legal amendments to the UCC fall into two categories:

1. local ordinances adopted before the passage of the Pennsylvania Construction Codes Act (noted as the pre-July 1, 1999 amendments), and
2. ordinances adopted after implementation of the Act began (noted as the post-April 9, 2004 amendments).

The first category of amendment applies to any municipality that had a building code ordinance in effect on or before July 1, 1999 – provided the ordinance’s requirements are more restrictive than those contained in UCC-adopted building codes (including the *International Residential Code*). The second type of amendment is for municipalities who passed ordinances after April 9, 2004, the date the administration of the Act took effect. Like pre-July 1, 1999 amendments, the post-April 9, 2004 ordinances are required to be more stringent than UCC code provisions. The post-April 9, 2004 amendment must go through a process described in the UCC Section 503, which requires approval by the Department of Labor and Industry. If the amendment is challenged during the approval process, a municipality must demonstrate a special condition that would necessitate the ordinance.

The Department of Labor and Industry declared all UCC amendments adopted between July 1, 1999 and April 9, 2004 to be null and void.

Act 45 did not require municipalities to file information about pre-July 1, 1999 ordinances with the Department of Labor and Industry – only to indicate whether or not they had an existing ordinance – and therefore there is no official or centralized source that builders, remodelers, or policymakers may use to determine what amendments exist in which municipalities. However, the Pennsylvania Housing Research Center at Penn State conducted a survey for a 2010 report titled, *Impact of the Uniform Construction Code in Rural Pennsylvania*³, which asked municipalities and third-party agencies to categorize any amendments to the UCC enforced in their jurisdictions. Part 2 of this guide contains a listing of municipalities with pre-July 1, 1999 ordinances amending the UCC, along with self-reported information on the aspects of construction regulated by those ordinances. This information on pre-July 1, 1999 amendments is incomplete, so interested parties should contact a specific municipality to determine whether any amendments are being enforced.

There is a central source containing a list of all municipalities who have legally adopted post-April 9, 2004 amendments. These ordinances, and a summary of their requirements, may be found at the Department of Labor and Industry’s *Uniform Construction Code* webpage under the “*Local Enforcement*” tab. Section 503 of the UCC outlines the process and requirements for amending.

II. Applicability of the Uniform Construction Code to Various Project Types

When permits are required under the UCC, a contractor must apply for, and be issued, a building permit prior to initiating any aspect of construction. Work requiring permits relating to residential buildings and their accessory structures must comply with UCC-adopted building codes. The relevant code for projects covered under the scope of this guide is the *International Residential Code*, published by the International Code Council. This code is republished every three years with changes and additions, and contractors must use the edition that is currently adopted under Pennsylvania Department of Labor and Industry regulations. At present, Pennsylvania’s adopted code for residential structures is the 2009 edition of the *International Residential Code*. Permit applicants may ask to inspect a review of the *International Residential Code* at the code office of any opt-in municipality.

Residential Construction Projects Requiring Permits

In addition to new construction, many types of projects require a building permit, inspections and certificate of occupancy. List 1 contains a summary of residential-related project types for which construction must be completed in accordance with UCC-adopted building codes; and for which building permits, inspections, and certificates of occupancy are required under the UCC without exception (Section 403.62(a)).

List 1. Projects that require permits and adherence to UCC-adopted building codes under Pennsylvania’s Uniform Construction Code.

- All new residential construction
- All additions to existing residential construction, including:
 - Construction adding one or more stories on top of an existing dwelling
 - Construction increasing the perimeter of an existing dwelling
- Installing a new manufactured (HUD-Code) home – Only items installed on-site
- Installing a new industrialized (modular) home – Only items installed on-site

³ Kasal, B., Turns, M., *Impact of the Uniform Construction Code in Rural Pennsylvania*, the Center for Rural Pennsylvania: A Legislative Agency of the Pennsylvania General Assembly, September 2010.

- All attached garages
- Detached garages, carports, sheds, or greenhouses *1,000 square feet or larger* that are accessory to a *single-family* dwelling
- Detached garages, carports, sheds, or greenhouses *120 square feet or larger* that are accessory to a *two-family* dwelling or *townhouse*
- Enclosing an existing porch or patio
- Installing or building a sunroom or “three-seasons” room
- New decks greater than 30 inches above ground level at any point around the perimeter of the deck
- New decks with roofs or coverings (any height above ground level)
- Installing hot tubs and spas (indoors or outdoors)
- Constructing an in-ground swimming pool (inside or outside)
- Installing any swimming pool (including inflatable) with a water depth of 24 inches or more
- New fences higher than 6 feet
- New retaining walls higher than 4 feet
- Structural alterations to existing dwellings (“Structural alteration” is not defined, but does not include minor framing changes needed to replace existing windows or doors.)
- Changes to an existing means of egress, including: exit doors, stairs, handrails, guards, and ramps
- Any portion of a dwelling or residential accessory structure that will be used for *commercial* purposes (open to employees or the public). Examples include: professional or business offices, notaries, beauty shops, nail salons, barber shops, car or equipment repair
- Emergency repair if a permit application is submitted to the BCO within 3 days

Residential Exclusions from the UCC – Local Amendments May Exist

The UCC specifically lists types of projects that are *excluded* from the requirements of UCC-adopted building codes, and for which building permits, inspections, and certificates of occupancy are *not* required under the UCC. Although not required by the UCC, permits for these items may be required in municipalities with legally adopted amendments to the UCC. See List 2 for a summary of project types that are excluded from the UCC but for which a local amendment is allowed.

List 2. Projects that are excluded from Pennsylvania’s Uniform Construction Code and are exempt from the requirement to obtain a permit. Local amendments relating to these items are allowed.

- Detached garages, carports, sheds, or greenhouses *less than 1,000 square feet* that are accessory to a *single-family* dwelling
- All residential repairs – ordinary, emergency, or otherwise, unless the repair includes a structural change or affects means of egress
- Replacement of residential equipment
- Residential alterations (remodeling, renovations, maintenance, etc.) that are not structural in nature
- Installation of solar panels, geothermal systems, windmills and other alternative energy source equipment and structures (Some municipalities consider the

- installation of equipment on existing roofs to be structure alterations, and thus require permits without having a local amendment.)
- Finish work, including: painting, papering, carpeting, tile work, cabinetry, countertops, etc.
 - Sidewalks, driveways, and other flatwork
 - Swimming pools with a water depth of less than 24 inches
 - Window replacements
 - Installation of residential elevators and lifts for use in a single dwelling unit (There are Department of Labor and Industry regulations separate from the UCC for elevators and lifts.)

Residential Exemptions from the UCC – Local Amendments Not Allowed

There is an additional category of projects for which the UCC dictates that local amendments cannot be enacted. List 3 contains a summary of project types that are *exempt* from the requirements of UCC-adopted building codes, and for which building permits, inspections, and certificates of occupancy are *not* required under the UCC. Local amendments are not allowed for these items.

List 3. Projects that are exempt from Pennsylvania’s Uniform Construction Code. Local amendments relating to these items are not allowed.

- Recreational cabins meeting certain qualifications (affidavit must be filed with the BCO)
- Plumbing, electrical, and graded lumber requirements in single-family dwellings of members of recognized religious sects (affidavit must be filed with the BCO)
- Tubing, piping, fixtures, appliances and equipment connected to a source of liquefied petroleum (propane) gas
- Manufactured housing

III. Contacting the Building Code Official

As indicated above, Part 2 of this guide provides information on which municipalities are on record as having amendments, and the best information available on what those amendments regulate; however, interested parties contractor should contact an opt-in municipality’s designated Building Code Official (BCO) to determine whether a permit is required for projects that do not fall under the UCC, or if there are any additional local requirements for any type of project. The BCO can also provide you with the following information: a list of the types of activities where permits are required, permit applications, requirements for construction documents, permit fee schedules, inspection requirements and fees, and occupancy permit applications and requirements. Note that contractors must comply with both the UCC (and its adopted building codes) and any legally adopted local amendments.

To contact the Building Code Official, call the township, borough or city government office. BCO contact information is also available at the Department of Labor and Industry’s *Uniform Construction Code* webpage under the “Local Enforcement” tab and then selecting the “Municipal Elections and Contact Information” link.

IV. Timeframes for Decisions

The UCC dictates review time limits for residential permit applications (Section 403.62(a)). The BCO has 15 business days to review, and approve or deny, a permit application. If the building plans are not complete, the BCO may return them to the applicant. Upon resubmittal, the BCO has an additional 15 business days to review and take action.

If the building plans are prepared and sealed by a registered Pennsylvania design professional, who also certifies that the construction is in compliance with the Uniform Construction Code, the BCO has only five business days to take action on a completed application.

If the permit application is not acted upon within the designated time limit, the plans are deemed approved.

V. Fines and Penalties for Unpermitted Construction

Any construction regulated by the UCC or local amendments that is performed without a permit may result in penalties imposed by the municipality. The contractor may be subject to fines and penalties of up to \$1,000 per day for each violation. In addition, if a structure is occupied without a certificate of occupancy issued by the Building Code Official, the municipality may take additional – and serious – punitive actions.

VI. Building Permit and Inspection Fees

The Uniform Construction Code does not contain a standard fee schedule for building permits and inspections. Elected officials in each opt-in municipality must adopt, by resolution, their own fee schedule, which must be made publicly available. This information should be available upon request by contacting the Building Code Official or municipal secretary or manager.

The survey conducted for the previously mentioned Pennsylvania Housing Research Center (PHRC) report titled, *Impact of the Uniform Construction Code in Rural Pennsylvania*⁴, asked municipalities to estimate the building permit fee for three representative residential building scenario examples. Using this information, the PHRC determined the average and range of permit fee amounts among over 1,000 Pennsylvania municipalities. Please refer to that report (available on the PHRC website at <http://www.engr.psu.edu/phrc/Impact%20of%20the%20UCC%20Rural%20PA%20Report.pdf>) for more information on typical permit fee amounts.

VII. Scheduling Inspections

Permit-holders are generally not allowed to choose their own inspectors, as each opt-in municipality determines who is allowed to perform inspections within its jurisdiction. A municipality may perform inspections with municipal staff, or may have contracts with one or more third-party inspection agencies. All inspectors must be certified by the Department of Labor and Industry. When a permit is issued, the code office should give permit-holders written instructions on how to request required inspections.

⁴ Kasal, B., Turns, M., *Impact of the Uniform Construction Code in Rural Pennsylvania*, the Center for Rural Pennsylvania: A Legislative Agency of the Pennsylvania General Assembly, September 2010.

VIII. Filing Appeals to Code Decisions

The UCC requires every opt-in municipality to have a UCC Board of Appeals to hear challenges to code decisions (Section 403.121). Contractors who believe that a Building Code Official or inspector in an opt-in municipality has made an improper decision regarding a permit application, inspection, or certificate of occupancy, may appeal to a municipal UCC Board of Appeals. To file an appeal, contractors should ask the BCO or municipal secretary or manager for an appeal application. A fee to cover the costs of such an appeal may apply.

IX. Zoning, Land Use, and Other Municipal Approvals

Local zoning and land use ordinances, where they exist, may restrict or prohibit structures that are allowed by the UCC. The Building Code Official can help determine whether proposed work requires zoning or other municipal approvals. These approvals must be obtained and presented to the BCO before a building permit for UCC-regulated construction may be issued.

X. Opt-Out Municipalities

Contractors performing construction in an opt-out municipality must hire a certified third-party agency approved by the Pennsylvania Department of Labor and Industry. A list of certified third-party agencies may be found at the Department of Labor and Industry's *Uniform Construction Code* website under the "Certified Third-Party Agencies (Buildings)" tab, or by contacting Labor and Industry at 717-772-3396.

Third-party agencies operating in opt-out municipalities perform all of the same functions as municipal code offices or third-party agencies in opt-in municipalities, including reviewing plans, issuing building permits, conducting required inspections, and issuing certificates of occupancy. These third-party agencies establish their own fees for permits and inspections, and contractors may use this as one criterion for selecting a third-party agency.

XI. Summary of Residential Provisions of the UCC

1. Every building, or portion thereof, that falls under the scope of the UCC, is required to meet the same minimum code requirements, regardless of where in Pennsylvania it is built. Some municipalities have requirements that are more stringent than the UCC.
2. Ninety-two percent of Pennsylvania municipalities are responsible for enforcing building codes in their jurisdiction ("opt-in" municipalities).
3. Opt-in municipalities may have pre-July 1, 1999 ordinances containing provisions that are more restrictive than the UCC. Opt-in municipalities may also have ordinances amending the UCC after April 9, 2004, provided they have gone through the process described in UCC Section 503.
4. Each opt-in municipality is required to have a single designated Building Code Official (BCO), who is the person ultimately responsible for code administration and enforcement in that municipality.
5. The Building Code Official (BCO) has 15 business days to take action on a building permit application. This is reduced to five business days, if the construction documents are sealed by a registered Pennsylvania design professional.
6. There are stiff penalties for performing work without a permit when a permit is required.
7. Disagreements over code decisions may be heard in a municipality's UCC Board of Appeals. Each opt-in municipality is required to have such a board.



8. Work performed in opt-out municipalities that falls under scope of the UCC must still be permitted and inspected. It is the responsibility of the proposed building owner, or a contractor acting in their behalf, to obtain a permit from a registered third-party inspection agency.

XII. Resources

1. The Department of Labor and Industry's *Uniform Construction Code* website:
http://www.portal.state.pa.us/portal/server.pt/community/uniform_construction_code/10524
2. Kasal, B., Turns, M., *Impact of the Uniform Construction Code in Rural Pennsylvania*, the Center for Rural Pennsylvania: A Legislative Agency of the Pennsylvania General Assembly, September 2010.
(<http://www.engr.psu.edu/phrc/Impact%20of%20the%20UCC%20Rural%20PA%20Report.pdf>)



Part 2 – State and County Maps with Descriptions of Amendments to the UCC



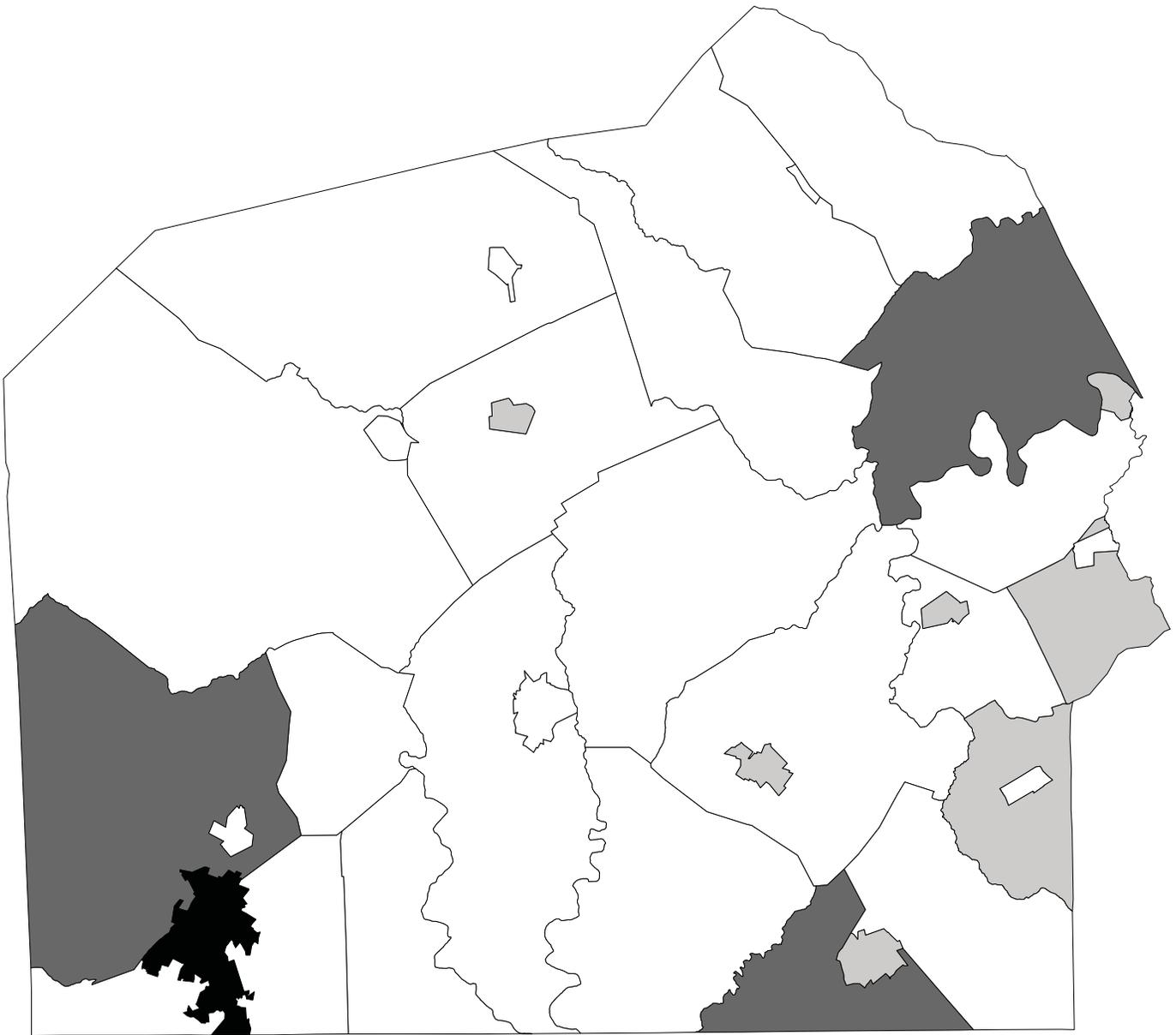
Legend
UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Adams County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Adams County

Table 1 of 1

Amendment Types

Bendersville
– <i>Not Reported</i>
Berwick Township
– All alterations, renovations, remodeling, and repairs to existing residential structures
Biglerville Borough
– <i>Not Reported</i>
Bonneauville Borough
– <i>Not Reported</i>
Carroll Valley Borough
<ul style="list-style-type: none"> – Radon mitigation – Electrical wiring or service upgrades in existing residential structures – Residential sprinklers – Adopted appendices to the International Fire Code – I-Fire Code: Adopt Appendix B – I-Residential Code: Add subsections to R313.3 that will require sprinklers in new residential construction, and water flow alarms and outside alarm bells on the mandated sprinkler systems.
Conewago Township
– <i>Not Reported</i>
East Berlin Borough
– <i>Not Reported</i>
Germany Township
– Requires a building permit for all residential utility and miscellaneous use structures with a building area in excess of 250 sq. ft.
Hamiltonban Township
– Requires a building permit for residential utility and miscellaneous use structures with a building area in excess of 250 sq. ft.
Littlestown
– <i>Not Reported</i>
New Oxford
– <i>Not Reported</i>
Reading Township
– Requires a building permit for all residential utility and miscellaneous use structures with a building area of 500 sq. ft. or more

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Allegheny County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Allegheny County

Table 1 of 6

Amendment Types

Aspinwall Borough
– <i>Not Reported</i>
Baldwin Borough
– <i>Not Reported</i>
Baldwin Township
<ul style="list-style-type: none"> – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 200 sq. ft. or more and for those with a lesser building area that are served by a utility. – Requires a building permit for the construction, erection or placement of all decks, porches and stoops. – Requires a building permit for all residential alterations and repairs and establishes 9 exceptions.
Bethel Park Borough
<ul style="list-style-type: none"> – Radon mitigation – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq.ft. – Carbon monoxide detectors – Footer construction, as-built surveys, site bond, portable cooking devices, etc.
Bradford Woods Borough
– <i>Not Reported</i>
Braddock Hills Borough
<ul style="list-style-type: none"> – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 200 sq. ft. or more and for those with a lesser building area that are served by a utility. – Requires a building permit for all residential alterations and repairs and establishes 9 exceptions.
Brentwood Borough
– <i>Not Reported</i>
Bridgeville Borough
– <i>Not Reported</i>
Carnegie Borough
– <i>Not Reported</i>
Castle Shannon Borough
– <i>Not Reported</i>
Chalfant Borough
– <i>Not Reported</i>
Churchill Borough
– <i>Not Reported</i>
Clairton City
– <i>Not Reported</i>
Coraopolis Borough

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Allegheny County

Table 2 of 6

Amendment Types

<ul style="list-style-type: none"> - Some alterations, renovations, remodeling, and repairs to existing residential structures - Electrical wiring or service upgrades in existing residential structures
Dormont Borough
<ul style="list-style-type: none"> - <i>Not Reported</i>
Dravosburg Borough
<ul style="list-style-type: none"> - <i>Not Reported</i>
Duquesne City
<ul style="list-style-type: none"> - <i>Not Reported</i>
East Deer Township
<ul style="list-style-type: none"> - <i>Not Reported</i>
Edgewood Borough
<ul style="list-style-type: none"> - <i>Not Reported</i>
Forward Township
<ul style="list-style-type: none"> - Requires a building permit for all residential utility and miscellaneous use structures with a building area in excess of 300 sq. ft.
Fox Chapel Borough
<ul style="list-style-type: none"> - New piping and/or new plumbing fixtures in existing residential structures - Footings
Franklin Park Borough
<ul style="list-style-type: none"> - <i>Not reported</i>
Frazer Township
<ul style="list-style-type: none"> - All alterations, renovations, remodeling, and repairs to existing residential structures - Electrical wiring or service upgrades in existing residential structures - Adopted appendices to the International Fire Code - Adopted appendices of UCC codes (other than Fire Code)
Glassport Borough
<ul style="list-style-type: none"> - <i>Not Reported</i>
Glen Osborne
<ul style="list-style-type: none"> - <i>Not Reported</i>
Green Tree Borough
<ul style="list-style-type: none"> - <i>Not reported</i>
Hampton Township
<ul style="list-style-type: none"> - <i>Not Reported</i>
Haysville Borough
<ul style="list-style-type: none"> - <i>Not Reported</i>
Heidelberg Borough
<ul style="list-style-type: none"> - <i>Not Reported</i>
Ingram Borough
<ul style="list-style-type: none"> - Requires a building permit for all residential utility and miscellaneous use structures with a building area of 200 sq. ft. or more and for those with a lesser building area that are served by a utility.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Allegheny County

Table 3 of 6

Amendment Types

<ul style="list-style-type: none"> – Requires a building permit for all residential alterations and repairs and establishes 9 exceptions.
Kennedy Township
<ul style="list-style-type: none"> – Establishes a number of changes relative to building permits, including: requiring permits for most alterations and repairs; limiting the validity of building permits to 180 days; regulating all decks and residential utility and miscellaneous use structures with a building area greater than 120 sq. ft.; and establishing municipal administrative penalties.
Kilbuck Township
<ul style="list-style-type: none"> – <i>Not Reported</i>
Leet Township
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Reroofing – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq.ft. – Carbon monoxide detectors
Leetsdale Borough
<ul style="list-style-type: none"> – <i>Not Reported</i>
Liberty Borough
<ul style="list-style-type: none"> – <i>Not Reported</i>
Lincoln Borough
<ul style="list-style-type: none"> – <i>Not reported</i>
Marshall Township
<ul style="list-style-type: none"> – Exempts from UCC permit requirements any carport, detached garage, greenhouse or shed with a building area of less than 250 sq. ft., as long as they are accessory to a single-family home.
McCandless Township
<ul style="list-style-type: none"> – Commercial fire sprinklers
McKeesport City
<ul style="list-style-type: none"> – <i>Not Reported</i>
Millvale Borough
<ul style="list-style-type: none"> – <i>Not Reported</i>
Monroeville Borough
<ul style="list-style-type: none"> – Requires a building permit for residential utility and miscellaneous use structures larger than 120 sq. ft. or for such structures that are 120 sq. ft. or less, when served by electrical, gas or plumbing systems.
Moon Township
<ul style="list-style-type: none"> – Residential utility and miscellaneous use structures under 1,000 sq.ft. – Adopted appendices to the International Fire Code – Commercial fire sprinklers
Mount Lebanon Township

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Allegheny County

Table 4 of 6

Amendment Types

– Sprinkler and alarm requirements in commercial buildings
Mount Oliver Borough
– <i>Not Reported</i>
Munhall Borough
– <i>Not Reported</i>
Neville Township
– Requires a building permit for residential utility and miscellaneous use structures with a building area exceeding 150 sq. ft.
North Braddock Borough
– Requires a building permit for residential utility and miscellaneous use structures if they have a building area of 200 sq. ft. or more or if they have a building area less than 200 sq. ft. and they are served by a utility.
– Requires a building permit for the construction of all residential decks, porches and stoops.
– Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions.
North Fayette Township
– <i>Not reported</i>
Penn Hills Township
– All alterations, renovations, remodeling, and repairs to existing residential structures
– Reroofing
– Siding and/or replacement windows
– Residential utility and miscellaneous use structures under 1,000 sq.ft.
Pine Township
– Adopted appendices of UCC codes (other than Fire Code)
– Sprinkler system requirements in commercial uses and some fire prevention provisions more stringent than ICC
Pittsburgh City
– <i>Not reported</i>
Port Vue Borough
– <i>Not Reported</i>
Rankin Borough
– <i>Not Reported</i>
Reserve Township
– <i>Not Reported</i>
Richland Township
– <i>Not reported</i>
Ross Township
– <i>Not Reported</i>
Roslyn Farms Borough
– <i>Not reported</i>
Scott Township

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Allegheny County

Table 5 of 6

Amendment Types

– <i>Not Reported</i>
Sewickley Borough
– <i>Not Reported</i>
Sewickley Hills Borough
– <i>Not Reported</i>
Shaler Township
– Radon mitigation
– All alterations, renovations, remodeling, and repairs to existing residential structures
– Reroofing
– Electrical wiring or service upgrades in existing residential structures
– New piping and/or new plumbing fixtures in existing residential structures
– Adopted appendices to the International Fire Code
– Adopted appendices of UCC codes (other than Fire Code)
Sharpsburg Borough
– <i>Not Reported</i>
South Fayette Township
– <i>Not Reported</i>
Swissvale Borough
– <i>Not Reported</i>
Turtle Creek Borough
– <i>Not Reported</i>
Upper Saint Clair
– <i>Not Reported</i>
Versailles Borough
– <i>Not Reported</i>
West Deer Township
– <i>Not Reported</i>
West Elizabeth Borough
– <i>Not Reported</i>
West Homestead Borough
– <i>Not Reported</i>
West Mifflin Borough
– <i>Not Reported</i>
Whitaker Borough
– <i>Not reported</i>
White Oak Borough
– <i>Not Reported</i>
Whitehall Borough
– Some alterations, renovations, remodeling, and repairs to existing residential structures
– Residential utility and miscellaneous use structures under 1,000 sq.ft.
Wilkins Township

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Allegheny County

Table 6 of 6

Amendment Types

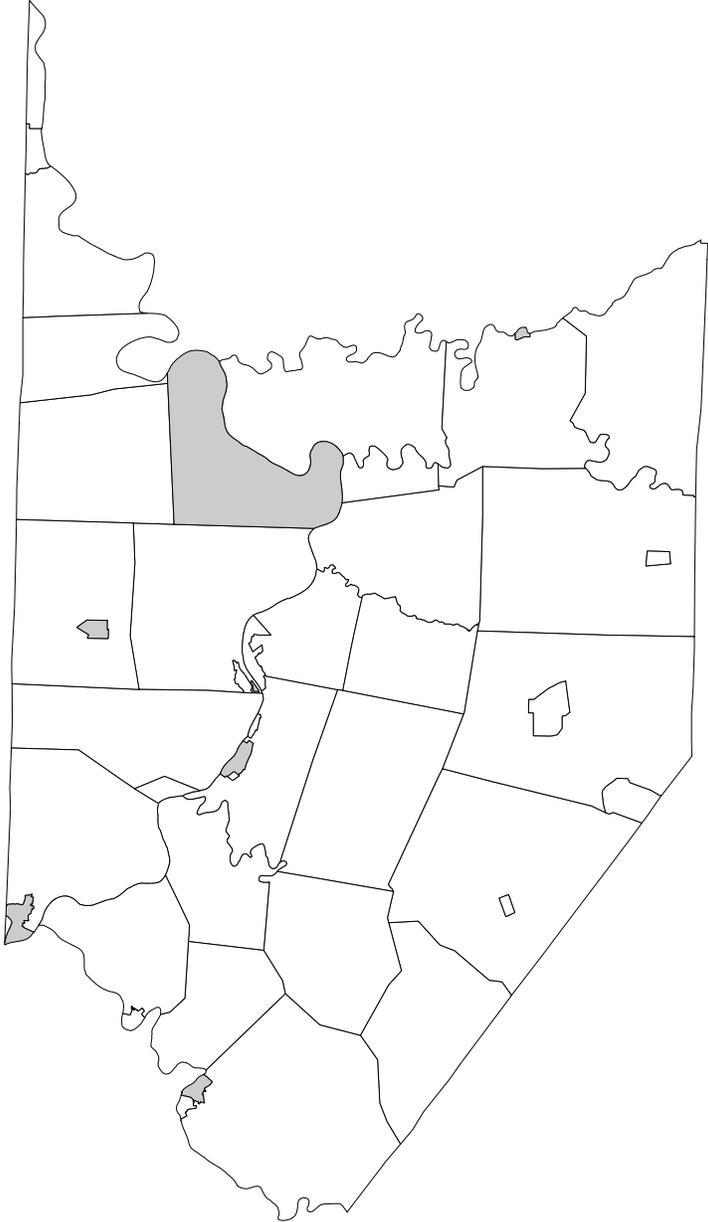
– <i>Not Reported</i>
Wilmerding Borough
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Armstrong County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Armstrong County

Table 1 of 1

Amendment Types

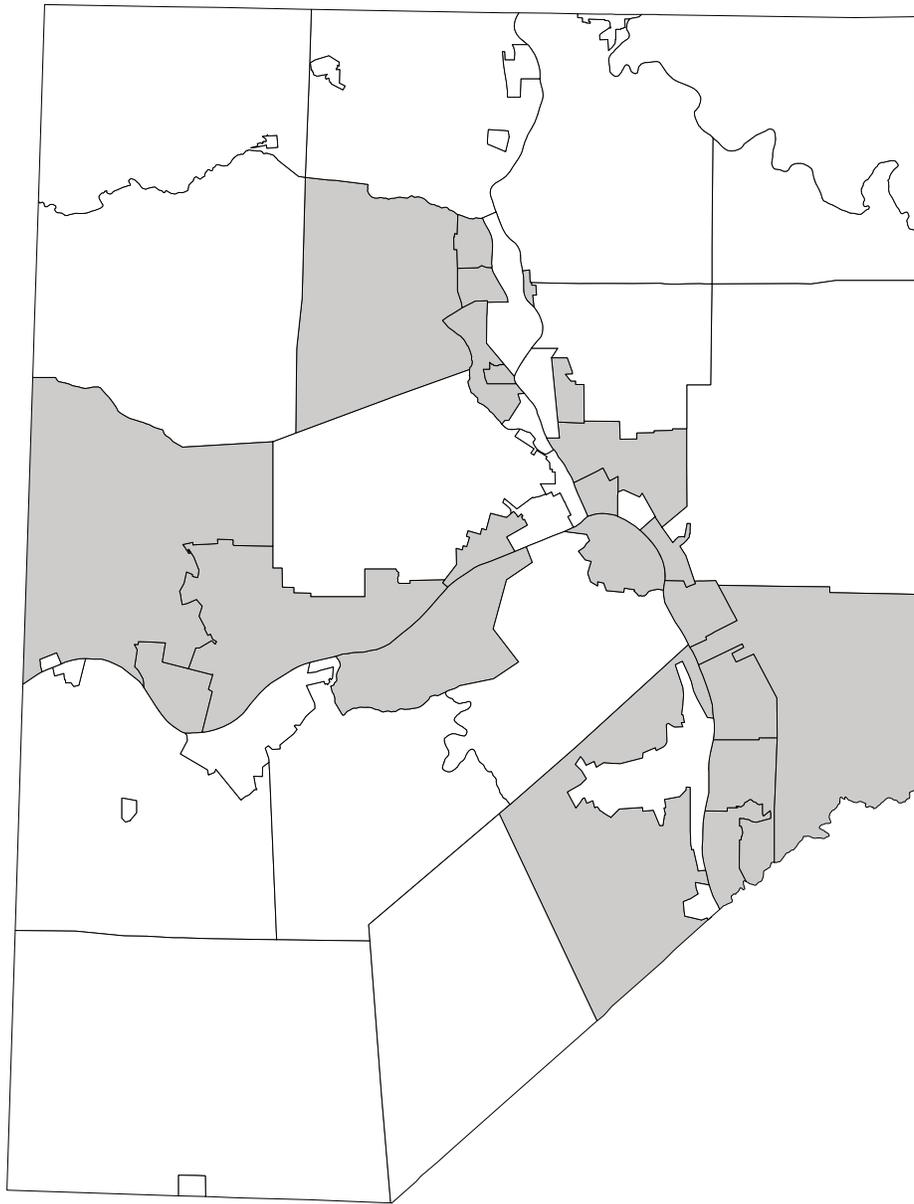
Applewold Borough
– <i>Not Reported</i>
Ford City Borough
– <i>Not Reported</i>
Freeport Borough
– <i>Not Reported</i>
North Apollo Borough
– <i>Not Reported</i>
South Bethlehem Borough
– <i>Not Reported</i>
Washington Township
– <i>Not Reported</i>
Worthington Borough
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Beaver County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Beaver County

Table 1 of 2

Amendment Types

Ambridge Borough
– <i>Not Reported</i>
Baden Borough
– <i>Not Reported</i>
Chippewa Township
– <i>Not Reported</i>
Conway Borough
– <i>Not Reported</i>
Eastvale Borough
– <i>Not Reported</i>
Economy Borough
– <i>Not Reported</i>
Freedom Borough
– <i>Not Reported</i>
Harmony Township
– <i>Not Reported</i>
Hopewell Township
– <i>Not Reported</i>
Industry Borough
– <i>Not Reported</i>
Midland Borough
– <i>Not Reported</i>
Monaca Borough
– <i>Not Reported</i>
Ohioville Borough
– <i>Not Reported</i>
Patterson Township
– <i>Not Reported</i>
Patterson Heights Borough
– <i>Not Reported</i>
Potter Township
– <i>Not Reported</i>
Pulaski Township
– <i>Not Reported</i>
Rochester Borough
– <i>Not Reported</i>
Rochester Township
– <i>Not Reported</i>
Vanport Township
– <i>Not Reported</i>
West Mayfield Borough

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Beaver County

Table 2 of 2

Amendment Types

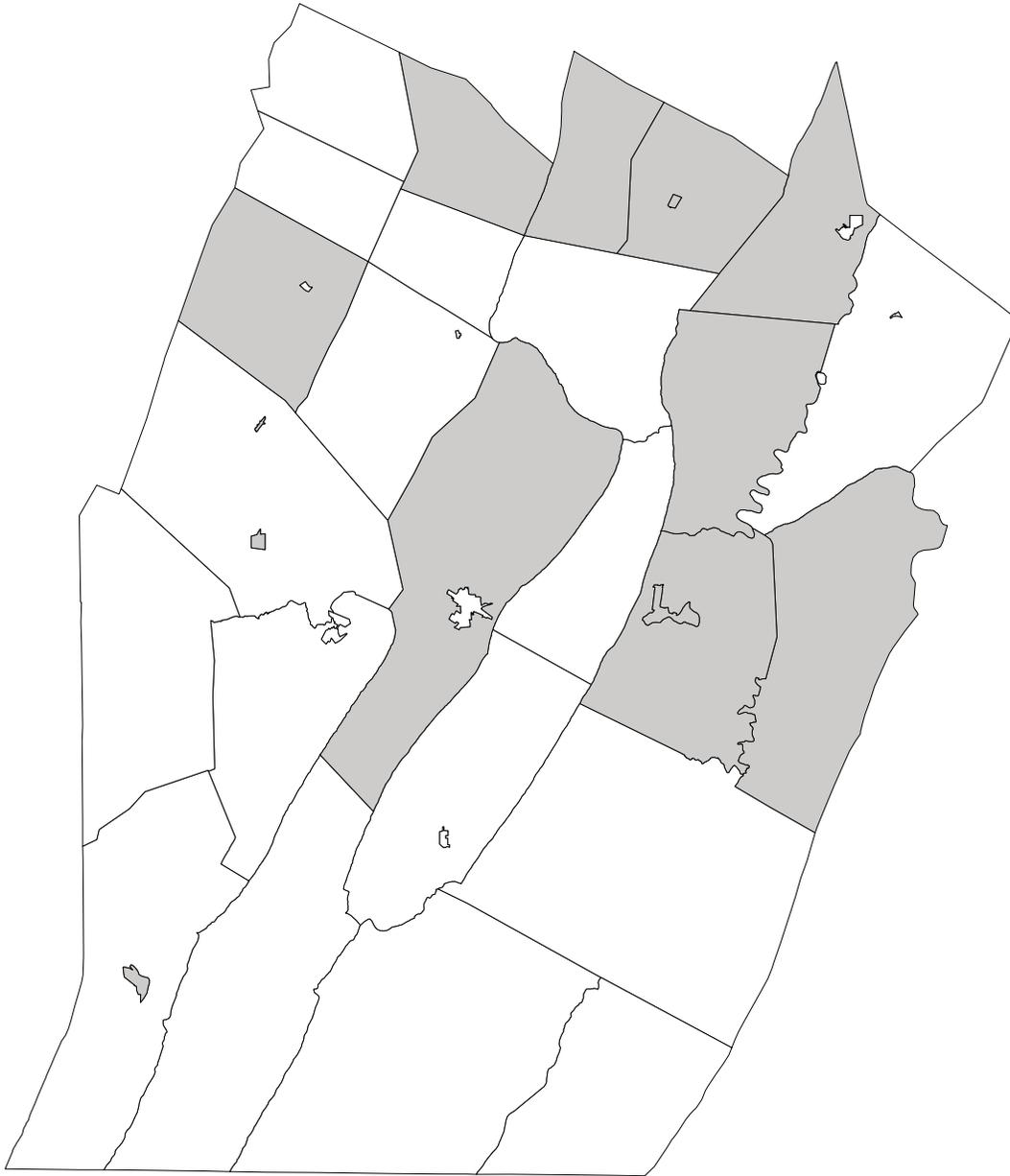
– <i>Not Reported</i>
White Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Bedford County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Bedford County

Table 1 of 1

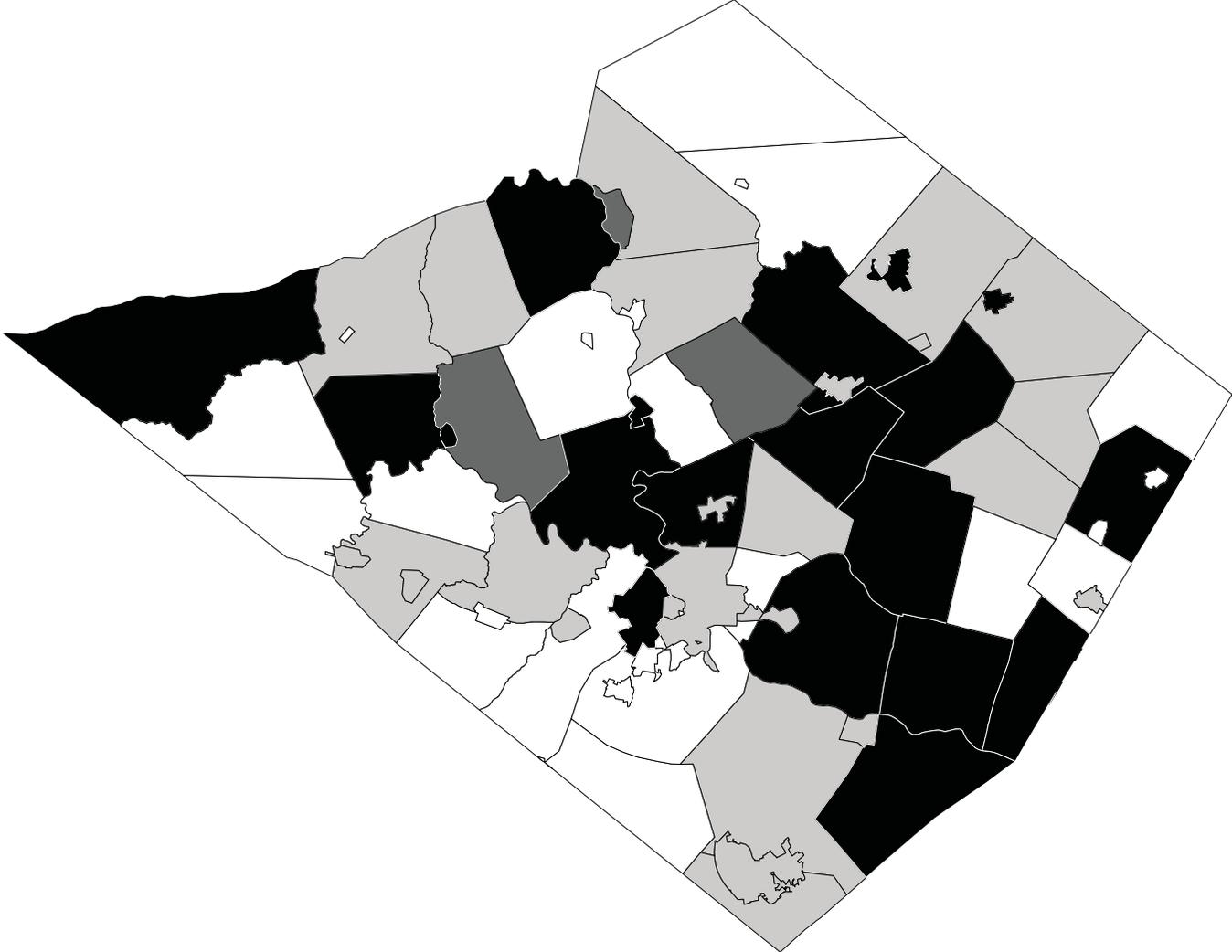
Amendment Types

Bedford Township
– <i>Not Reported</i>
Bloomfield Township
– <i>Not Reported</i>
East Providence Township
– <i>Not Reported</i>
Everett Borough
– <i>Not Reported</i>
Hopewell Township
– <i>Not Reported</i>
Hyndman Borough
– <i>Not Reported</i>
Kimmel Township
– <i>Not Reported</i>
Liberty Township
– <i>Not Reported</i>
New Paris Borough
– <i>Not Reported</i>
Schellsburg Borough
– <i>Not Reported</i>
West Providence Township
– <i>Not Reported</i>
West Saint Clair Township
– <i>Not Reported</i>
Woodbury Borough
– <i>Not Reported</i>
Woodbury Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Berks County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Berks County

Table 1 of 5

Amendment Types

Alsace Township
– <i>Not Reported</i>
Amity Township
<ul style="list-style-type: none"> – Radon mitigation – Residential utility and miscellaneous use structures under 1,000 sq. ft. – Adopted appendices of UCC codes (other than Fire Code) – Requires a building permit for all residential utility and miscellaneous use structures with a building area exceeding 500 sq. ft. – Adopts IRC Appendix F (Radon Control Methods). – Requires a building permit for all residential utility and miscellaneous use structures with a building area exceeding 500 sq. ft. – Requires a building permit for all residential alterations and repairs and provides exceptions.
Bern Township
<ul style="list-style-type: none"> – Radon mitigation – Residential utility and miscellaneous use structures under 1,000 sq. ft. – Adopted appendices of UCC codes (other than Fire Code) – Requires a building permit for all residential utility and miscellaneous use structures that have a building area of 200 sq. ft. or more. – Requires a building permit for all residential utility and miscellaneous use structures that will be provided with any utility service. – Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions.
Bernville Borough
– Requires a building permit for all residential utility and miscellaneous use structures that have a building area of 500 sq. ft. or more. Requires a building permit for all residential utility and miscellaneous use structures that will be provided with any utility service. Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions.
Bethel Township
<ul style="list-style-type: none"> – Some alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Requires a building permit for all residential utility and miscellaneous use structures that have a building area of 500 sq. ft or more. Requires a building permit for all residential utility and miscellaneous use structures that will be provided with any utility service. – Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions.
Birdsboro Borough
– <i>Not Reported</i>
Boyertown Borough
– <i>Not Reported</i>
Caernarvon Township
– <i>Not Reported</i>

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Berks County

Table 2 of 5

Amendment Types

District Township
– <i>Not Reported</i>
Douglass Township
– Requires a building permit for all residential utility and miscellaneous use structures that have a building area of 120 sq. ft. or more.
Exeter Township
<ul style="list-style-type: none"> – Radon mitigation – Residential sprinklers – Adopted appendices to the International Fire Code – Adopted appendices of UCC codes (other than Fire Code) – Adopts Appendices E, F, and G of the International Fire Code 2006, establishes fines and permits fire authorities to set geographic limits for certain hazardous storage uses.
Fleetwood Borough
– <i>Not Reported</i>
Hamburg Borough
<ul style="list-style-type: none"> – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 300 sq. ft. or more and for those with a lesser building area that are served by a utility. – Requires a building permit for all residential alterations and repairs and establishes 8 exceptions.
Heidelberg Township
– <i>Not Reported</i>
Jefferson Township
<ul style="list-style-type: none"> – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 500 sq. ft. or more and for those with a lesser building area that are served by a utility. – Requires a building permit for all residential alterations and repairs and establishes 9 exceptions. – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 500 sq. ft. or more and for those with a lesser building area that are served by a utility. – Requires a building permit for all residential alterations and repairs and establishes 9 exceptions.
Kutztown Borough
<ul style="list-style-type: none"> – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq. ft. – Adopted appendices of UCC codes (other than Fire Code) – Requires a building permit for residential utility and miscellaneous use structures with a building area larger than 200 sq. ft., but limits compliance with footer and foundation requirements to structures of this type only when over 400 sq. ft. – Amends UCC by exempting from a permit only the residential work listed in the I-Residential Code
Laureldale Borough
– <i>Not Reported</i>
Leesport Borough

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Berks County

Table 3 of 5

Amendment Types

<ul style="list-style-type: none"> - Exempts from a building permit all residential utility and miscellaneous use structures that are less than 200 sq. ft. and that will have no utility service connections. - Requires a building permit for all residential utility and miscellaneous use structures that are greater than 199 square feet and that exceed one story in height. - Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions.
Longswamp Township
- <i>Not Reported</i>
Lower Heidelberg Township
- <i>Not Reported</i>
Lyons Borough
- <i>Not Reported</i>
Maidencreek Township
- Requires a building permit for residential utility and miscellaneous use structures with a building area of 600 sq. ft. or more, and for the same structures with a lesser building area, if they are served by utilities.
Maxatawny Township
- 5/8" drywall to separate garage from dwelling, all concrete 3000psi, underground piping 6" of gravel or sand under and over, Bonfire requires approval from fire chief, electrical inspections by certified 3rd party.
Mt. Penn Borough
<ul style="list-style-type: none"> - Requires a building permit for all residential utility and miscellaneous use structures with a building area of 400 sq. ft. or more and for those with a lesser building area that are served by a utility. - Requires a building permit for all residential alterations and repairs and establishes 9 exceptions.
Muhlenberg Township
<ul style="list-style-type: none"> - All alterations, renovations, remodeling, and repairs to existing residential structures - Re-roofing - Electrical wiring or service upgrades in existing residential structures - New or replacement mechanical equipment in existing residential structures - New piping and/or new plumbing fixtures in existing residential structures - Adopted appendices of UCC codes (other than Fire Code) - Requires a building permit for residential utility and miscellaneous use structures with a building area of more than 250 sq. ft.
Muhlenberg Township
- <i>Not Reported</i>
New Morgan Borough
- <i>Not Reported</i>
Oley Township

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Berks County

Table 4 of 5

Amendment Types

<ul style="list-style-type: none"> - Exempts from a building permit all residential utility and miscellaneous use structures that are less than 200 sq. ft. and that will have no utility service connections. - Requires a building permit for all residential utility and miscellaneous use structures that are greater than 199 square feet. - Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions.
Penn Township
<ul style="list-style-type: none"> - Requires a building permit for all residential utility and miscellaneous use structures that have a building area of 300 sq. ft. or more and those with a smaller building area that have utility service connections.
Perry Township
<ul style="list-style-type: none"> - <i>Not Reported</i>
Pike Township
<ul style="list-style-type: none"> - <i>Not Reported</i>
Reading City
<ul style="list-style-type: none"> - <i>Not Reported</i>
Richmond Township
<ul style="list-style-type: none"> - Requires a building permit for all residential utility and miscellaneous use structures with a building area of 200 sq. ft or more. - Requires a building permit for all residential utility and miscellaneous use structures with a building area of less than 200 sq. ft. and that have a utility connection for the purpose of inspection for the utility or utilities being installed. - The exemptions from a building permit for all residential alterations and repairs meet and continue to be exempt per UCC Act 92 or 2004 that establishes a number of exceptions. - Repeal of Ordinance No. 92
Robeson Township
<ul style="list-style-type: none"> - <i>Not Reported</i>
Robesonia Borough
<ul style="list-style-type: none"> - <i>Not Reported</i>
Rockland Township
<ul style="list-style-type: none"> - Requires a building permit for all residential utility and miscellaneous use structures with a building area of 200 sq. ft or more. - Requires a building permit for all residential utility and miscellaneous use structures with a building area of less than 200 sq. ft. and that have a utility connection.
Ruscombmanor Township
<ul style="list-style-type: none"> - Exempts from a building permit all residential utility and miscellaneous use structures that are less than 200 sq. ft. and that will have no utility service connections. - Requires a building permit for all residential utility and miscellaneous use structures that are greater than 199 square feet and that exceed one story in height. - Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions.
Sinking Spring Borough
<ul style="list-style-type: none"> - Some alterations, renovations, remodeling, and repairs to existing residential structures

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Berks County

Table 5 of 5

Amendment Types

Tilden Township
<ul style="list-style-type: none"> – Residential utility and miscellaneous use structures under 1,000 sq. ft. – Requires building permit for residential utility and miscellaneous use structures with a building area of more than 200 sq. ft.
Sinking Spring Borough
<ul style="list-style-type: none"> – <i>Not Reported</i>
St. Lawrence Borough
<ul style="list-style-type: none"> – <i>Not Reported</i>
Tilden Township
<ul style="list-style-type: none"> – <i>Not Reported</i>
Topton Borough
<ul style="list-style-type: none"> – Amends the UCC's residential sprinkler system requirements by: prohibiting the addition of anti-freeze or any other additives; requiring that systems fully comply with either the requirements of section P2904 of the IRC or the NFPA 13D; mandating that plans for systems complying with NFPA 13D be designed by a fire protection design professional or a NICET certified designer; and, prescribing certain meter box and meter box outlet piping requirements for all sprinkler systems.
Union Township
<ul style="list-style-type: none"> – Requires building permit for residential utility and miscellaneous use structures with a building area of 200 sq. ft. or more.
Upper Bern Township
<ul style="list-style-type: none"> – <i>Not Reported</i>
Upper Tulpehocken Township
<ul style="list-style-type: none"> – <i>Not Reported</i>
Washington Township
<ul style="list-style-type: none"> – Exempts from a building permit all residential utility and miscellaneous use structures that are less than 200 sq. ft. and that will have no utility service connections. Requires a building permit for all residential utility and miscellaneous use structures that are greater than 199 square feet. – Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions.
West Reading Borough
<ul style="list-style-type: none"> – <i>Not Reported</i>
Windsor Township
<ul style="list-style-type: none"> – <i>Not Reported</i>
Womelsdorf Borough
<ul style="list-style-type: none"> – <i>Not Reported</i>
Wyomissing Borough
<ul style="list-style-type: none"> – Adopted appendices to the International Fire Code – Adopts portions of the International Fire Code not adopted by the UCC regulation, including Chapter 5 and sections 2401 and 2402, subject to the requirements of 35 P.S. §7210.503 (a) (2).

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

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Blair County

Table 1 of 1

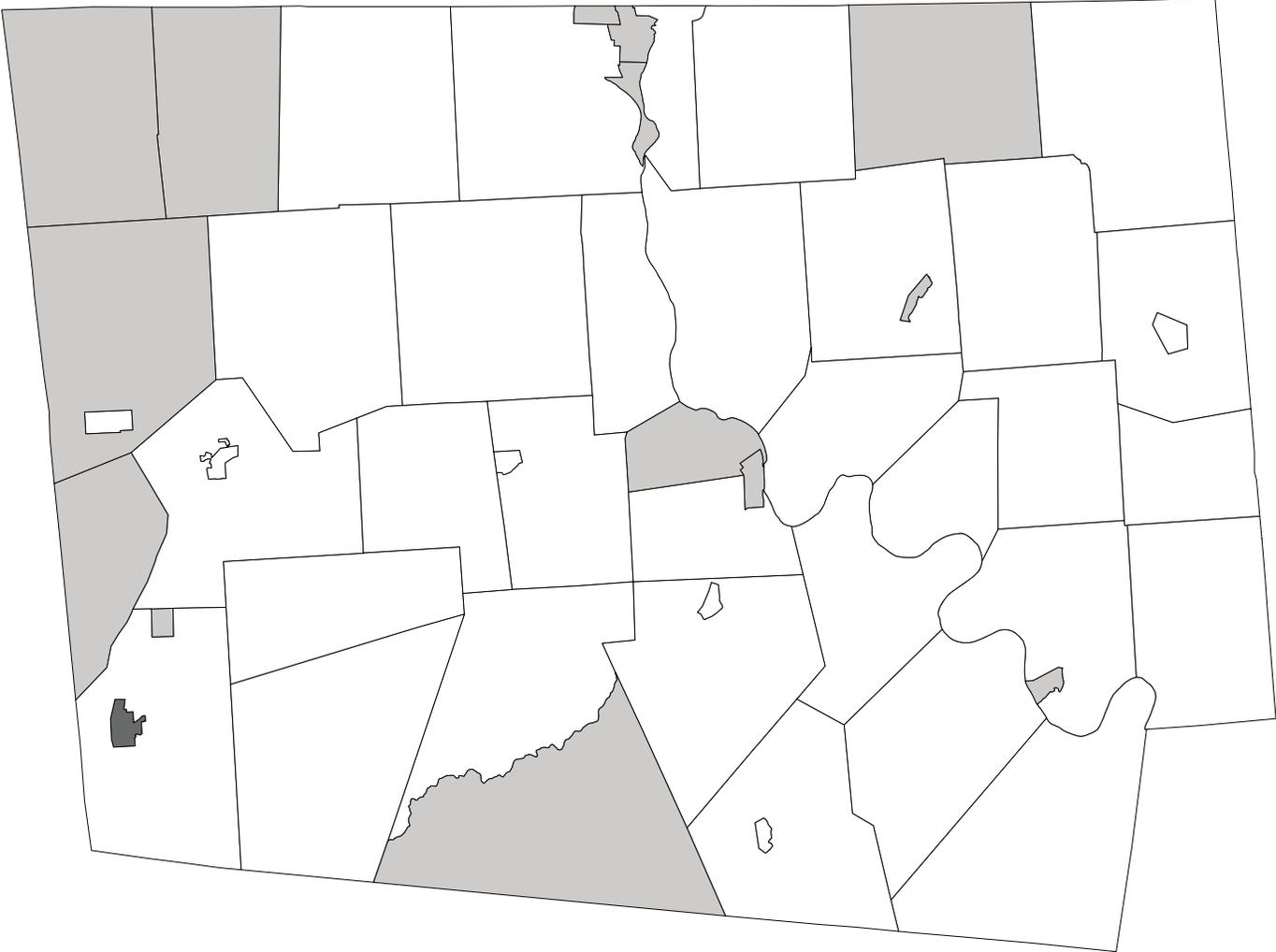
Amendment Types

Altoona City
– Property Maintenance Code
Duncansville Borough
– <i>Not Reported</i>
Frankstown Township
– <i>Not Reported</i>
Newry Borough
– <i>Not Reported</i>
Roaring Spring Borough
– <i>Not Reported</i>
Snyder Township
– <i>Not Reported</i>

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This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Bradford County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Bradford County

Table 1 of 1

Amendment Types

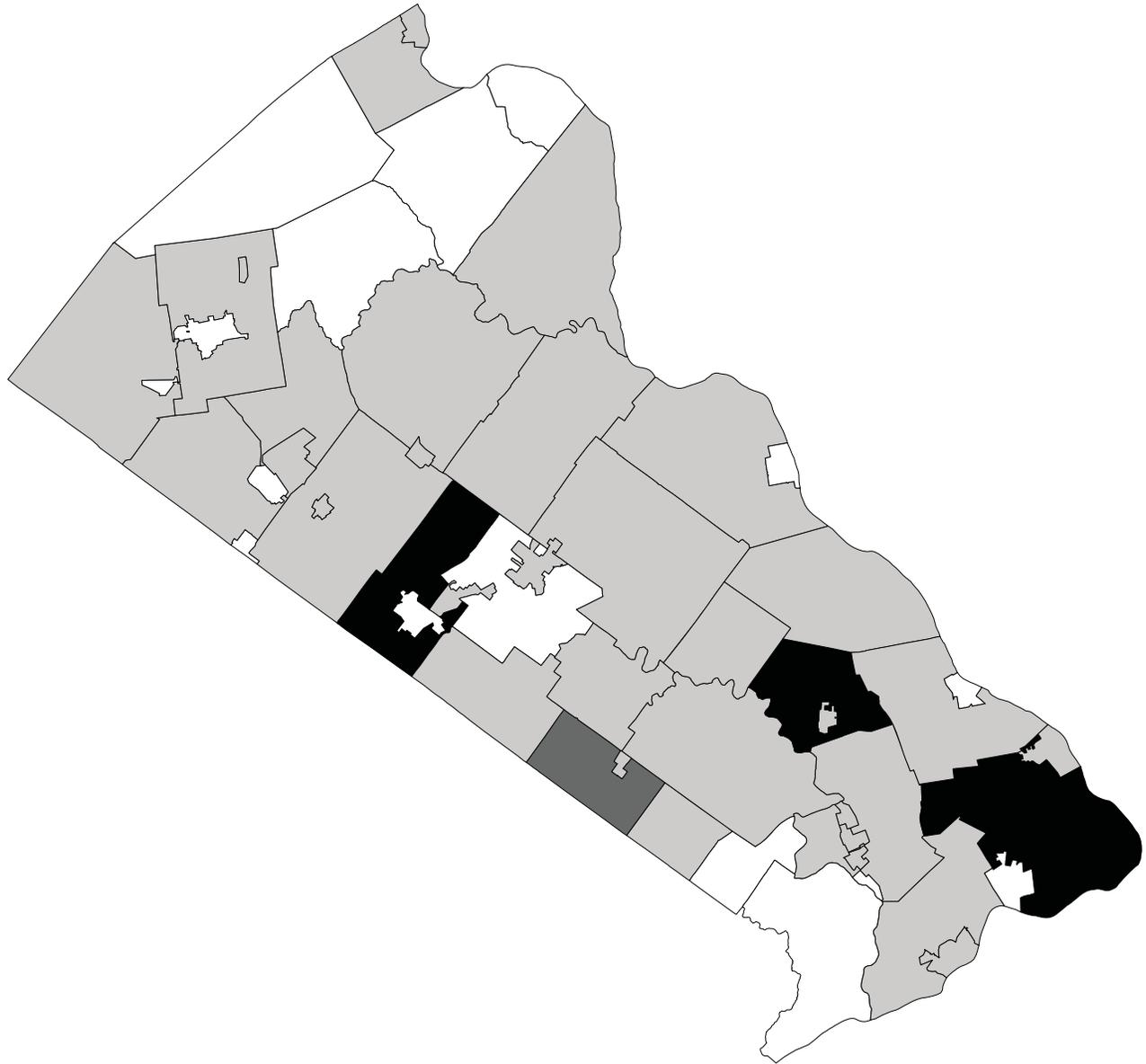
Alba Borough
– <i>Not Reported</i>
Armenia Township
– <i>Not Reported</i>
Athens Borough
– <i>Not Reported</i>
Canton Borough
– Establishes construction requirements for outdoor fuel burning appliances.
Columbia Township
– <i>Not Reported</i>
North Towanda Township
– <i>Not Reported</i>
Overton Township
– <i>Not Reported</i>
Rome Borough
– <i>Not Reported</i>
Sayre Borough
– <i>Not Reported</i>
South Creek Township
– <i>Not Reported</i>
Towanda Borough
– <i>Not Reported</i>
Wells Township
– <i>Not Reported</i>
Windham Township
– <i>Not Reported</i>
Wyalusing Borough
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Bucks County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Bucks County

Table 1 of 4

Amendment Types

Bedminster Township
– <i>Not Reported</i>
Bristol Borough
– <i>Not Reported</i>
Bristol Township
– <i>Not Reported</i>
Buckingham Township
– All alterations, renovations, remodeling, and repairs to existing residential structures
– New or replacement mechanical equipment in existing residential structures
– New piping and/or new plumbing fixtures in existing residential structures
– Residential sprinklers
Doylestown Borough
– Commercial sprinklers
Dublin Borough
– <i>Not Reported</i>
Durham Township
– <i>Not Reported</i>
East Rockhill Township
– <i>Not Reported</i>
Falls Township
– Residential utility and miscellaneous use structures under 1,000 sq ft
– Requires a building permit for all residential utility and miscellaneous use structures larger than 500 sq. ft.
– Requires a building permit for alterations and repairs in all buildings.
Hilltown Township
– <i>Not Reported</i>
Ivyland Borough
– <i>Not Reported</i>
Langhorne Borough
– <i>Not Reported</i>
Langhorne Manor Borough
– <i>Not Reported</i>
Lower Makefield Township
– <i>Not Reported</i>
Middletown Township
Cast iron sewers only (residential)
Milford Township
– <i>Not Reported</i>
Morrisville Borough
– Radon mitigation
– All alterations, renovations, remodeling, and repairs to existing residential structures

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Bucks County

Table 2 of 4

Amendment Types

<ul style="list-style-type: none"> – Some alterations, renovations, remodeling, and repairs to existing residential structures
<ul style="list-style-type: none"> – Re-roofing – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Residential sprinklers
New Britain Borough
<ul style="list-style-type: none"> – <i>Not Reported</i>
New Britain Township
<ul style="list-style-type: none"> – Some alterations, renovations, remodeling, and repairs to existing residential structures – Residential sprinklers – Requires a building permit for residential utility and miscellaneous use structures with building area of 250 sq. ft. or more, all residential basement alterations and all residential roof replacements that involve replacement of sheathing.
Newtown Borough
<ul style="list-style-type: none"> – <i>Not Reported</i>
Newtown Township
<ul style="list-style-type: none"> – Requires a building permit for residential utility and miscellaneous use structures that have a building area of 200 sq. ft. or more.
Northampton Township
<ul style="list-style-type: none"> – Some alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – New piping and/or new plumbing fixtures in existing residential structures
Penndel Borough
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – fence, property maintenance, plumbing
Perkasie Borough
<ul style="list-style-type: none"> – <i>Not Reported</i>
Plumstead Township
<ul style="list-style-type: none"> – <i>Not Reported</i>
Richland Township
<ul style="list-style-type: none"> – Greater sprinkler requirements for all uses
Richlandtown Borough
<ul style="list-style-type: none"> – <i>Not Reported</i>
Riegelsville Borough

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Bucks County

Table 3 of 4

Amendment Types

– <i>Not Reported</i>
Silverdale Borough
– <i>Not Reported</i>
Solebury Township
– <i>Not Reported</i>
Tinicum Township
– <i>Not Reported</i>
Upper Makefield Township
– <i>Not Reported</i>
Upper Southampton Township
– <i>Not Reported</i>
Warminster Township
– Requires building permit for all residential utility and miscellaneous use structures with a building area greater than 144 sq. ft.
Warrington Township
<ul style="list-style-type: none"> – Radon mitigation – All alterations, renovations, remodeling, and repairs to existing residential structures – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Residential sprinklers – Adopted appendices to the International Fire Code – Adopted appendices of UCC codes (other than Fire Code) – Requires a building permit for residential alterations and repairs, and establishes exceptions. – Adopts all Appendices of International Residential Code. – Requires a building permit for residential utility and miscellaneous use structures with a building area of 193 sq. ft. or more. – Requires installation of sprinklers in residential structures undergoing complete reconstruction. – Requires sprinkler installers to provide maintenance schedules to homeowners and testing of sprinkler system every 5 years. – Establishes requirements for residential basement alterations. – Amends section R703.2 of the International Residential Code by requiring the use of sheathing paper not less than 15 pounds per 100 sq. ft. – Amends section 3002.2 of the International Residential Code by restricting the use of piping specified in this section. – Amends section E3802.7 requirements by making them applicable to laundry room sinks.
Warwick Township
– <i>Not Reported</i>
West Rockhill Township
– <i>Not Reported</i>
Wrightstown Township

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Bucks County

Table 4 of 4

Amendment Types

- | |
|---|
| <ul style="list-style-type: none">– Electrical wiring or service upgrades in existing residential structures– Residential sprinklers |
|---|

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Butler County

Table 1 of 2

Amendment Types

Adams Township
– Requires a building permit for all residential utility and miscellaneous use structures with a building area exceeding 200 sq. ft.
Allegheny Township
– Some alterations, renovations, remodeling, and repairs to existing residential structures
– Electrical wiring or service upgrades in existing residential structures
– Carbon monoxide detectors
Brady Township
– Requires a building permit for all buildings (except for agricultural buildings) exceeding 200 sq. ft.
Buffalo Township
– <i>Not Reported</i>
Butler City
– <i>Not Reported</i>
Callery Borough
– <i>Not Reported</i>
Center Township
– <i>Not Reported</i>
Chicora Borough
– Some alterations, renovations, remodeling, and repairs to existing residential structures
– Electrical wiring or service upgrades in existing residential structures
– Carbon monoxide detectors
Cranberry Township
– Door sizes in residential and fire hydrant placement for sprinklered buildings
Evans City Borough
– <i>Not Reported</i>
Fairview Township
– Some alterations, renovations, remodeling, and repairs to existing residential structures
– Electrical wiring or service upgrades in existing residential structures
– Carbon monoxide detectors
Harrisville Borough
– <i>Not Reported</i>
Karns City Borough
– Some alterations, renovations, remodeling, and repairs to existing residential structures
– Electrical wiring or service upgrades in existing residential structures
– Carbon monoxide detectors
Lancaster Township
– <i>Not Reported</i>
Marion Township
– Some alterations, renovations, remodeling, and repairs to existing residential structures
– Electrical wiring or service upgrades in existing residential structures
– Carbon monoxide detectors

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Butler County

Table 2 of 2

Amendment Types

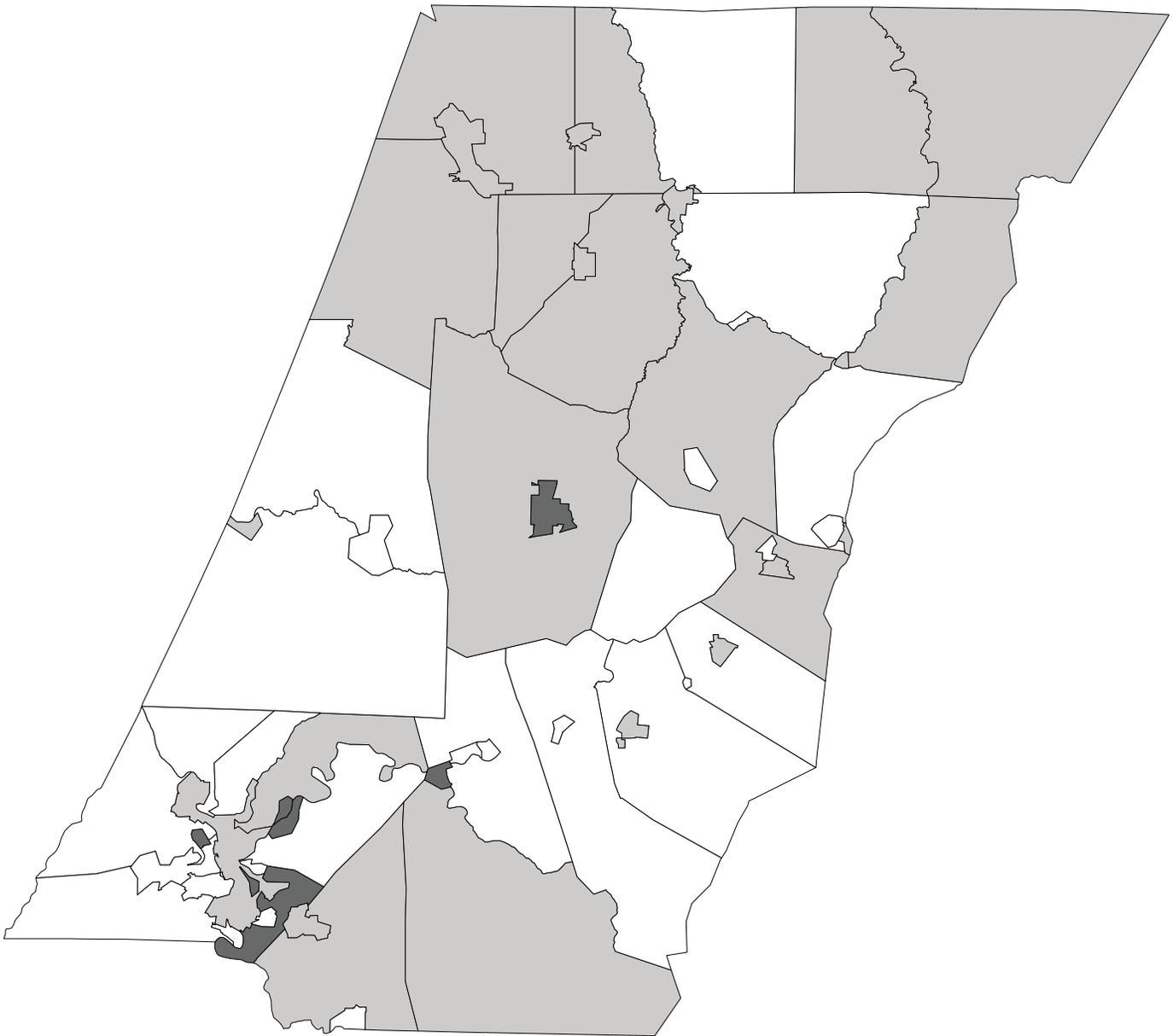
Mercer Township
<ul style="list-style-type: none">– Some alterations, renovations, remodeling, and repairs to existing residential structures– Electrical wiring or service upgrades in existing residential structures– Carbon monoxide detectors
Seven Fields Borough
<ul style="list-style-type: none">– <i>Not Reported</i>
Washington Township
<ul style="list-style-type: none">– Some alterations, renovations, remodeling, and repairs to existing residential structures– Electrical wiring or service upgrades in existing residential structures– Carbon monoxide detectors

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Cambria County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Cambria County

Table 1 of 2

Amendment Types

Adams Township
– <i>Not Reported</i>
Allegheny Township
– Some alterations, renovations, remodeling, and repairs to existing residential structures
– Adopted appendices to the International Fire Code
– Adopted appendices of UCC codes (other than Fire Code)
Ashville Borough
– Some alterations, renovations, remodeling, and repairs to existing residential structures
– Adopted appendices to the International Fire Code
– Adopted appendices of UCC codes (other than Fire Code)
Barr Township
– <i>Not Reported</i>
Cambria Township
– <i>Not Reported</i>
Carrolltown Borough
– <i>Not Reported</i>
Cresson Borough
– <i>Not Reported</i>
Cresson Township
– <i>Not Reported</i>
Dean Township
– <i>Not Reported</i>
East Carroll Township
– <i>Not Reported</i>
East Taylor Township
– Some alterations, renovations, remodeling, and repairs to existing residential structures
– Electrical wiring or service upgrades in existing residential structures
– New or replacement mechanical equipment in existing residential structures
– New piping and/or new plumbing fixtures in existing residential structures
– Residential utility and miscellaneous use structures under 1,000 sq. ft.
Elder Township
– <i>Not Reported</i>
Geistown Borough
– <i>Not Reported</i>
Hastings Borough
– <i>Not Reported</i>
Johnstown City
– Some alterations, renovations, remodeling, and repairs to existing residential structures
Lilly Borough

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Cambria County

Table 2 of 2

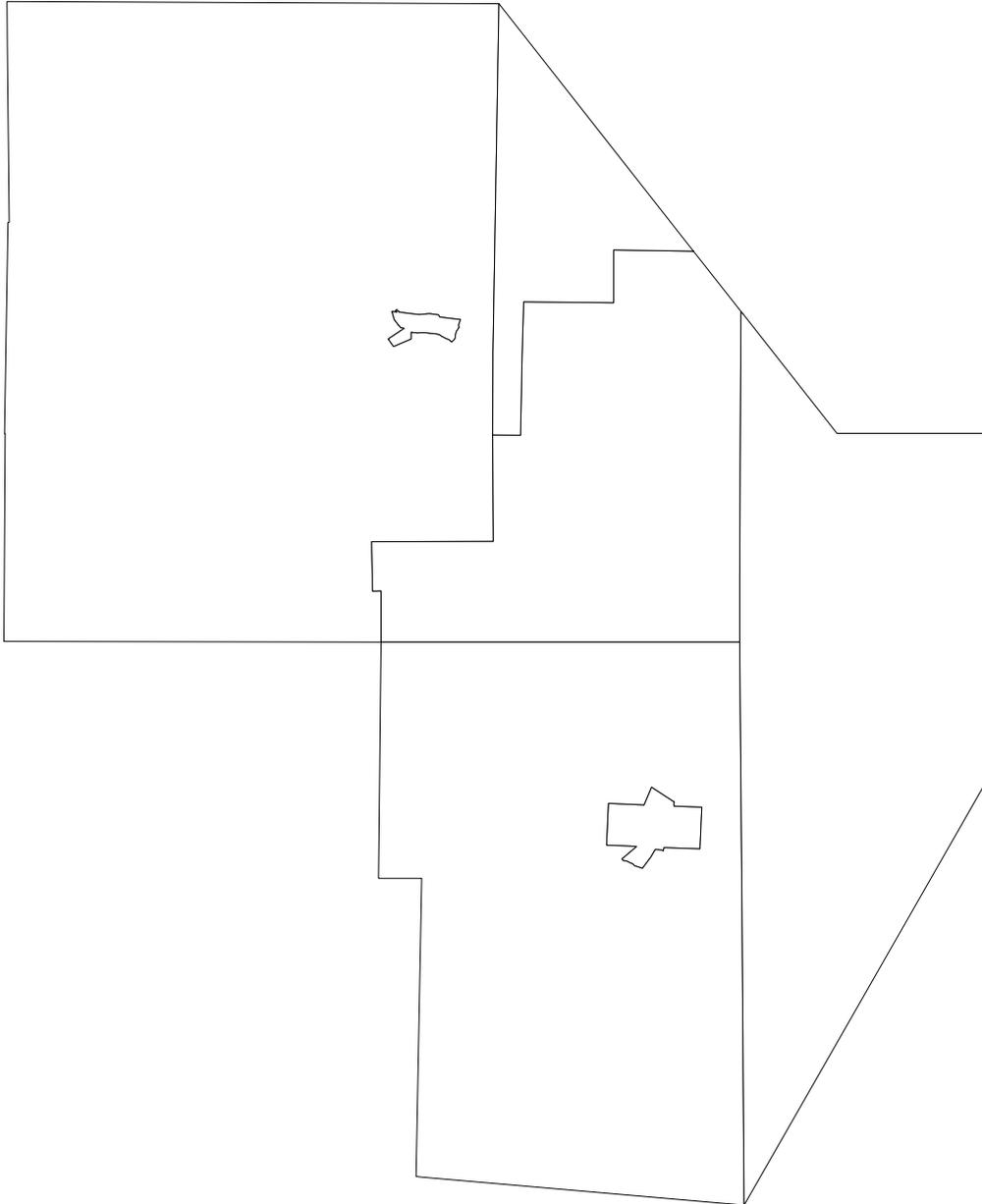
Amendment Types

<ul style="list-style-type: none">- Some alterations, renovations, remodeling, and repairs to existing residential structures- Adopted appendices to the International Fire Code- Adopted appendices of UCC codes (other than Fire Code)
Northern Cambria Borough
<ul style="list-style-type: none">- <i>Not Reported</i>
Patton Borough
<ul style="list-style-type: none">- Some alterations, renovations, remodeling, and repairs to existing residential structures- Adopted appendices to the International Fire Code- Adopted appendices of UCC codes (other than Fire Code)
Portage Borough
<ul style="list-style-type: none">- <i>Not Reported</i>
Reade Township
<ul style="list-style-type: none">- <i>Not Reported</i>
Richland Township
<ul style="list-style-type: none">- <i>Not Reported</i>
Susquehanna Township
<ul style="list-style-type: none">- <i>Not Reported</i>
Tunnelhill Borough
<ul style="list-style-type: none">- <i>Not Reported</i>
Vintondale Borough
<ul style="list-style-type: none">- <i>Not Reported</i>
West Carroll Township
<ul style="list-style-type: none">- <i>Not Reported</i>
White Township
<ul style="list-style-type: none">- <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Cameron County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

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Cameron County

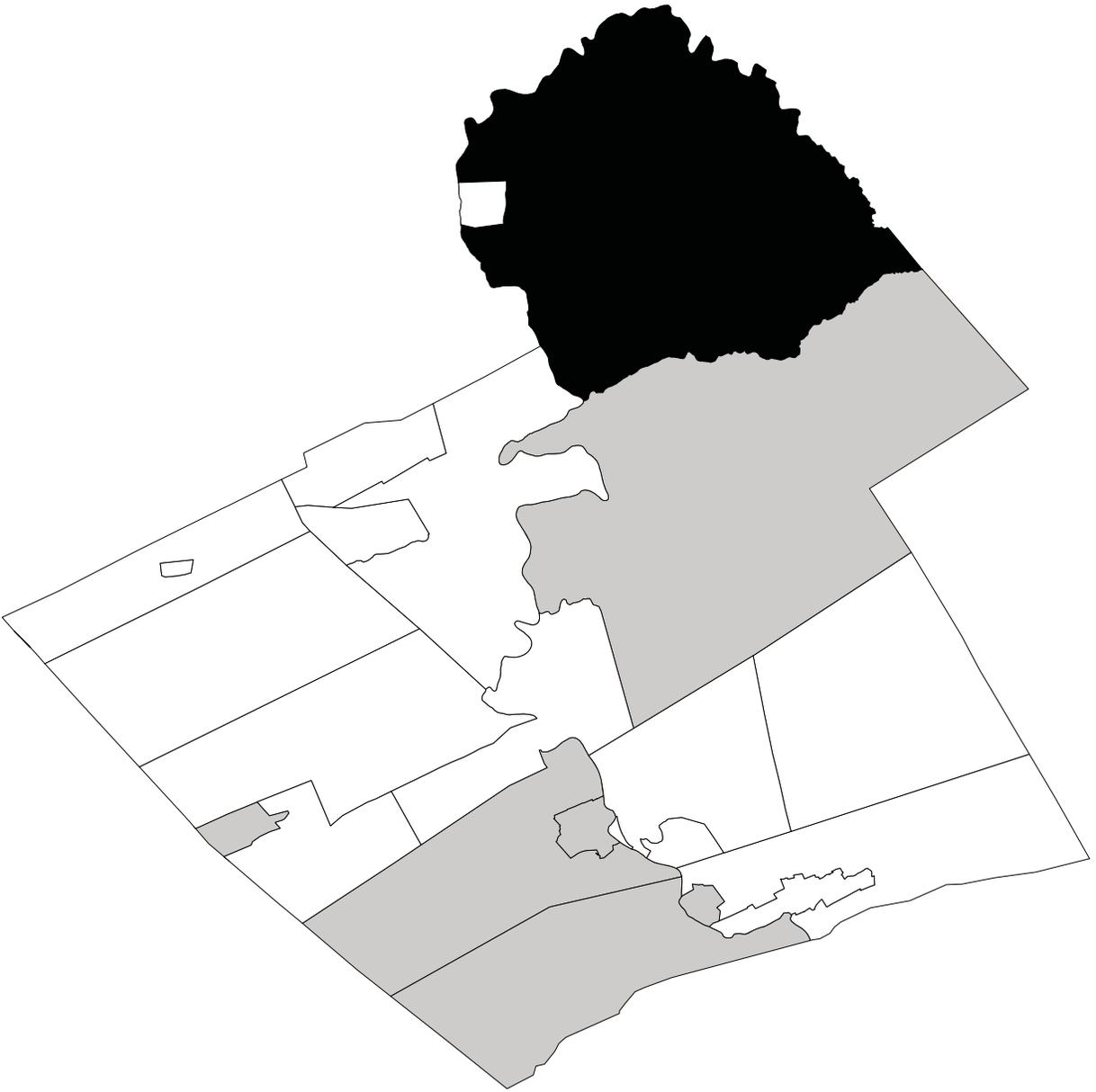
Table 1 of 1

Amendment Types

- There are no amendments on record in Cameron County.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Carbon County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Carbon County

Table 1 of 1

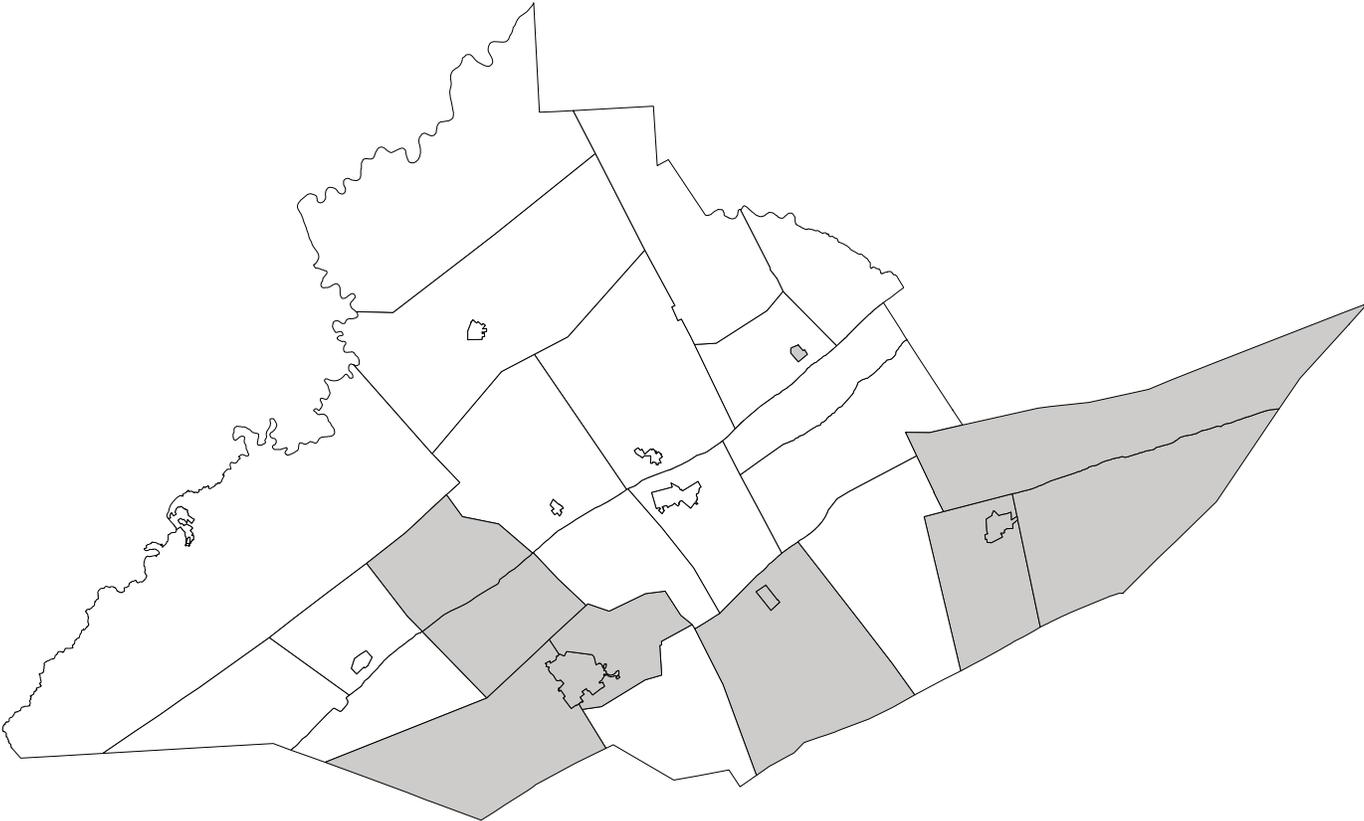
Amendment Types

Bowmanstown Borough
– <i>Not Reported</i>
East Penn Township
– <i>Not Reported</i>
Kidder Township
– <i>Not Reported</i>
Lansford Borough
– <i>Not Reported</i>
Lehigh Township
– <i>Not Reported</i>
Mahoning Township
– <i>Not Reported</i>
Penn Forest Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Centre County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Centre County

Table 1 of 1

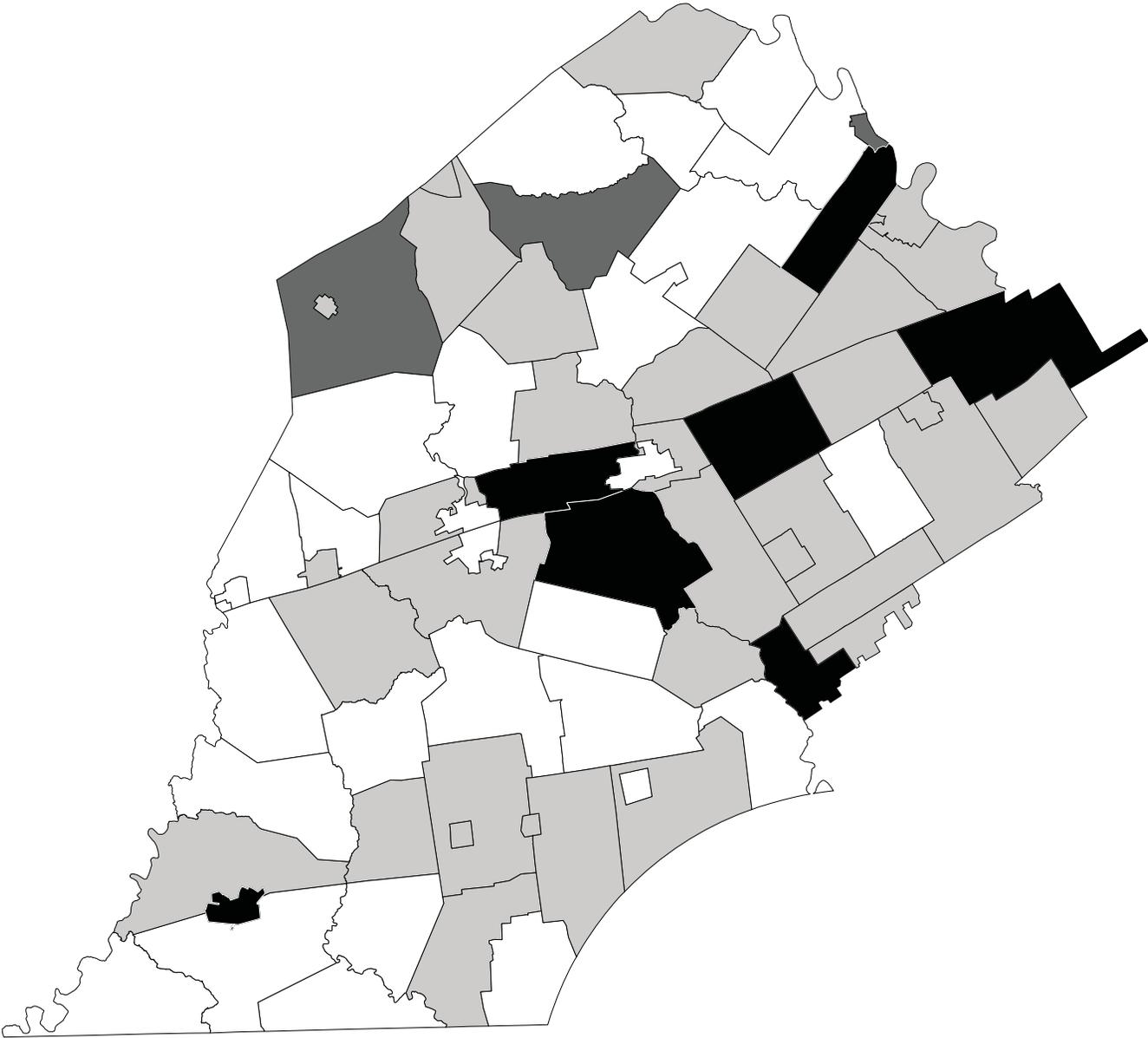
Amendment Types

Centre Hall Borough
– <i>Not Reported</i>
College Township
– Property Maintenance Code Adoption with significant modifications
Ferguson Township
– Property Maintenance Code Adoption with significant modifications
Haines Township
– <i>Not Reported</i>
Howard Borough
– <i>Not Reported</i>
Huston Township
– <i>Not Reported</i>
Miles Township
– <i>Not Reported</i>
Millheim Borough
– <i>Not Reported</i>
Patton Township
– Property Maintenance Code Adoption with significant modifications
Penn Township
– <i>Not Reported</i>
Potter Township
– <i>Not Reported</i>
State College Borough
– Property Maintenance Code Adoption with significant modifications

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Chester County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Chester County

Table 1 of 4

Amendment Types

Avondale Borough
– <i>Not Reported</i>
Birmingham Township
– Requires a building permit for all residential utility and miscellaneous use structures with a building area greater than 250 sq. ft.
Caln Township
– Adopts Appendices B, C, D, E, F, and G of the International Fire Code 2006.
Charlestown Township
– <i>Not Reported</i>
East Bradford Township
– Frost protection, Plain concrete, Foundation drainage, Bearing course
East Brandywine Township
– <i>Not Reported</i>
East Caln Township
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Residential sprinklers – Adopted appendices to the International Fire Code – Adopted appendices of UCC codes (other than Fire Code)
East Fallowfield Township
– <i>Not Reported</i>
East Nantmeal Township
<ul style="list-style-type: none"> – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 200 sq. ft. or more. – Requires a building permit for all residential utility and miscellaneous use structures with a building area of less than 200 sq. ft. and that have a utility connection. – Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions.
East Pikeland Township
<ul style="list-style-type: none"> – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 200 sq. ft. or more. – Requires a building permit for all residential utility and miscellaneous use structures with a building area of less than 200 sq. ft. and that have a utility connection. – Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions.
East Whiteland Township
– Some alterations, renovations, remodeling, and repairs to existing residential structures

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Chester County

Table 2 of 4

Amendment Types

Easttown Township
– <i>Not Reported</i>
Elverson Borough
– <i>Not Reported</i>
Franklin Township
– <i>Not Reported</i>
Highland Township
– <i>Not Reported</i>
Honey Brook Township
– Requires a building permit for residential utility and miscellaneous use structures larger than 499 sq. ft.
Kennett Township
– <i>Not Reported</i>
London Grove Township
– <i>Not Reported</i>
Lower Oxford Township
– <i>Not Reported</i>
Malvern Borough
– <i>Not Reported</i>
New Garden Township
– <i>Not Reported</i>
North Coventry
– <i>Not Reported</i>
Oxford Borough
<ul style="list-style-type: none"> – Residential utility and miscellaneous use structures under 1,000 sq ft – Requires a building permit for all residential utility and miscellaneous use structures that have a building area of 150 sq. ft. or more. – Requires that plans for new residential construction and additions to existing residences be sealed by a licensed architect or engineer.
Parkesburg Borough
– <i>Not Reported</i>
Penn Township
– <i>Not Reported</i>
Phoenixville Borough
– <i>Not Reported</i>
Pocopson Township
– <i>Not Reported</i>
Schuylkill Township
– <i>Not Reported</i>
Spring City Borough

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Chester County

Table 3 of 4

Amendment Types

<ul style="list-style-type: none"> – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 400 sq. ft. or more and for those with a lesser building area that are served by a utility. – Requires a building permit for all residential alterations and repairs and establishes 7 exceptions.
Thornbury Township
– <i>Not Reported</i>
Tredyffrin Township
– Requires a building permit for all residential utility and miscellaneous use structures that have a building area of 120 sq. ft. or more.
Uwchlan Township
<ul style="list-style-type: none"> – Radon mitigation – All alterations, renovations, remodeling, and repairs to existing residential structures – Some alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Adopted appendices to the International Fire Code – Adopted appendices of UCC codes (other than Fire Code)
Valley Township
– <i>Not Reported</i>
Wallace Township
– <i>Not Reported</i>
West Bradford Township
<ul style="list-style-type: none"> – Radon mitigation – All alterations, renovations, remodeling, and repairs to existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 500 sq. ft. or more. – Requires a building permit for all residential alterations or repairs that increase the habitable area of a residential building.
West Chester Borough
– <i>Not Reported</i>
West Goshen Township
– Sprinkler regulations in storage facilities
West Grove Borough
– <i>Not Reported</i>
West Nantmeal Township
– <i>Not Reported</i>
West Pikeland Township

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Chester County

Table 4 of 4

Amendment Types

– <i>Not Reported</i>
West Whiteland Township
– Requires a fire suppressions systems in all group B and M fire areas that exceed 5,000 sq. ft. Requires a building permit for all residential alterations and repairs.
– Requires a building permit for all residential utility and miscellaneous use structures with a building area greater than 500 sq. ft.
Westtown Township
– <i>Not Reported</i>
Willistown Township
– All alterations, renovations, remodeling, and repairs to existing residential structures
– Re-roofing
– Electrical wiring or service upgrades in existing residential structures
– New or replacement mechanical equipment in existing residential structures
– New piping and/or new plumbing fixtures in existing residential structures
– Residential utility and miscellaneous use structures under 1,000 sq ft

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

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Clarion County

Table 1 of 1

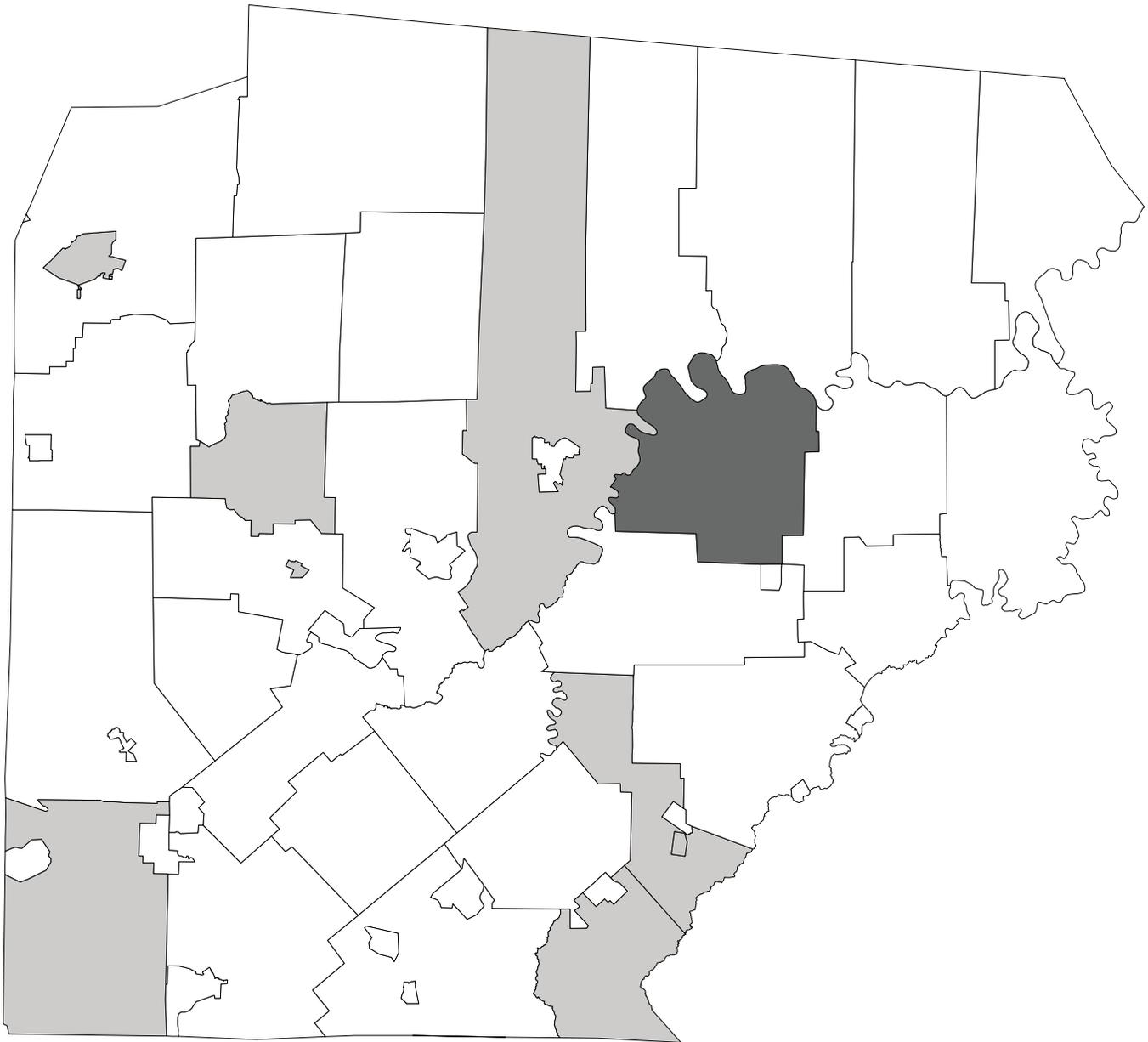
Amendment Types

Clarion Borough
– Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures
Clarion Township
– <i>Not Reported</i>
East Brady Borough
– <i>Not Reported</i>
Foxburg Borough
– <i>Not Reported</i>
Millcreek Township
– <i>Not Reported</i>
Perry Township
– <i>Not Reported</i>
Strattanville Borough
– <i>Not Reported</i>
Toby Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

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Clearfield County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Clearfield County

Table 1 of 1

Amendment Types

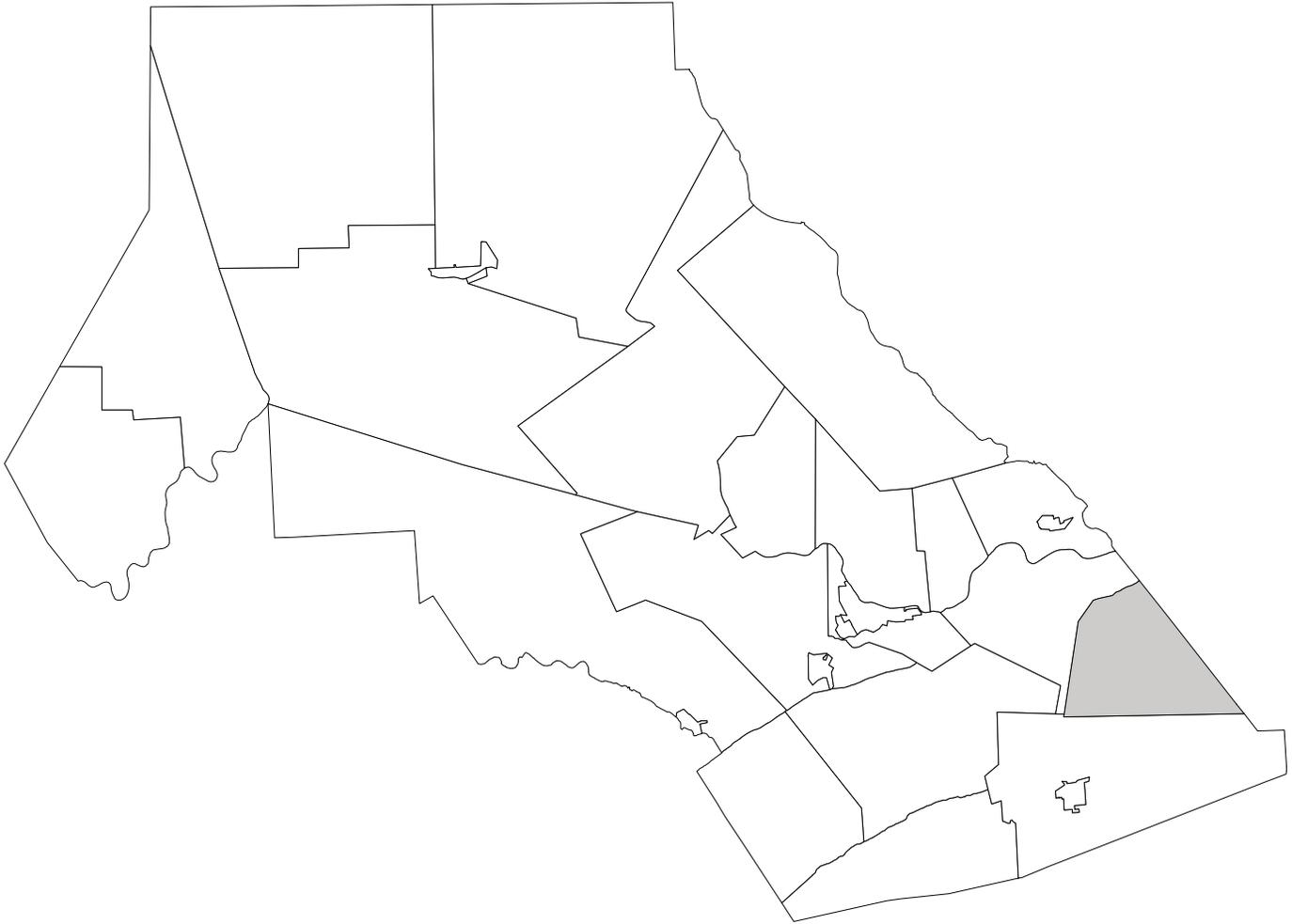
Bloom Township
– <i>Not Reported</i>
Bradford Township
– Requires a building permit for all electrical service alterations.
Burnside Township
– <i>Not Reported</i>
Dubois City
– <i>Not Reported</i>
Grampian Borough
– <i>Not Reported</i>
Gulich Township
– <i>Not Reported</i>
Houtzdale Borough
– <i>Not Reported</i>
Lawrence Township
– <i>Not Reported</i>
Woodward Township
– <i>Not Reported</i>

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Clinton County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Clinton County

Table 1 of 1

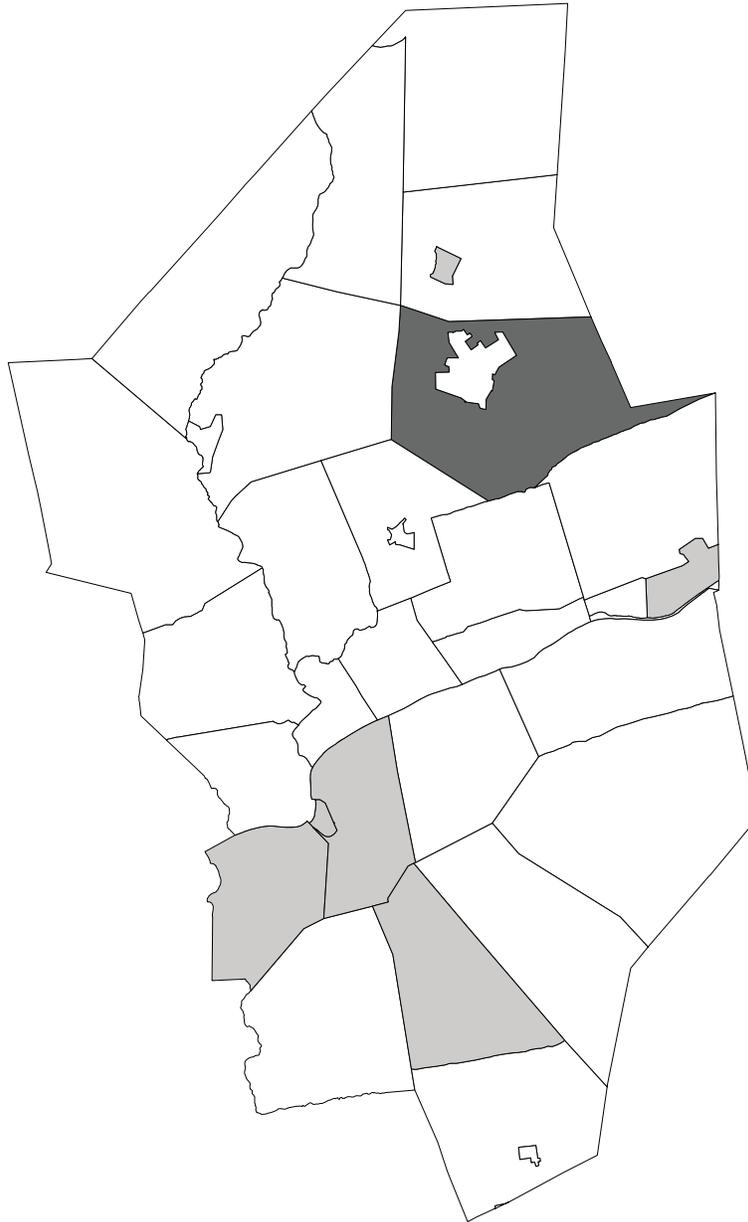
Amendment Types

Crawford Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Columbia County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Columbia County

Table 1 of 1

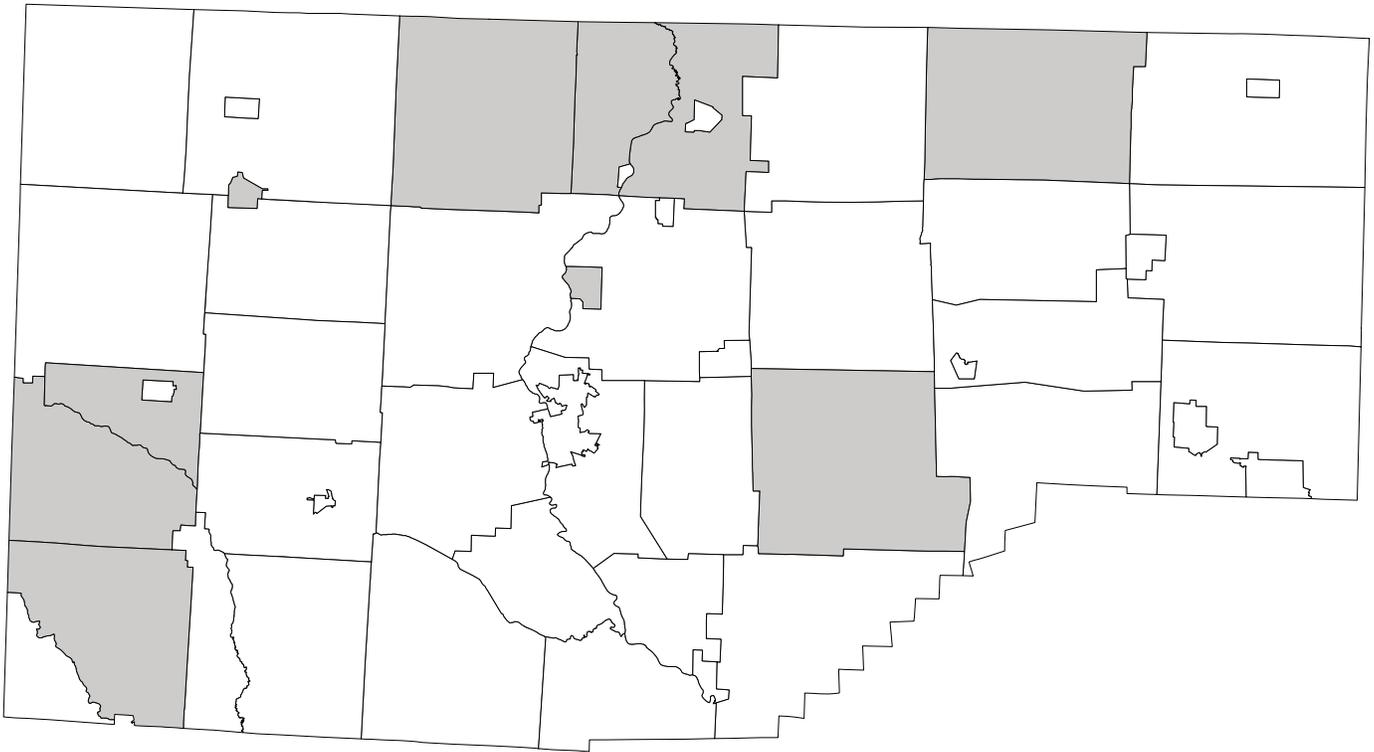
Amendment Types

Benton Borough
– <i>Not Reported</i>
Berwick Borough
– <i>Not Reported</i>
Catawissa Borough
– <i>Not Reported</i>
Catawissa Township
– <i>Not Reported</i>
Fishing Creek Township
<ul style="list-style-type: none"> – Requires a building permit for all residential utility and miscellaneous use structures with a building area of more than 500 sq. ft. or if less than 500 sq. ft. and served by any utility. – Requires a building permit for all residential alterations and repairs that are excluded by 34 Pa Code Â§403.62. – Establishes permit requirements for recreational cabins that owners want to occupy as permanent residences.
Franklin Township
– <i>Not Reported</i>
Locust Township
– Some alterations, renovations, remodeling, and repairs to existing residential structures

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

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Crawford County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Crawford County

Table 1 of 1

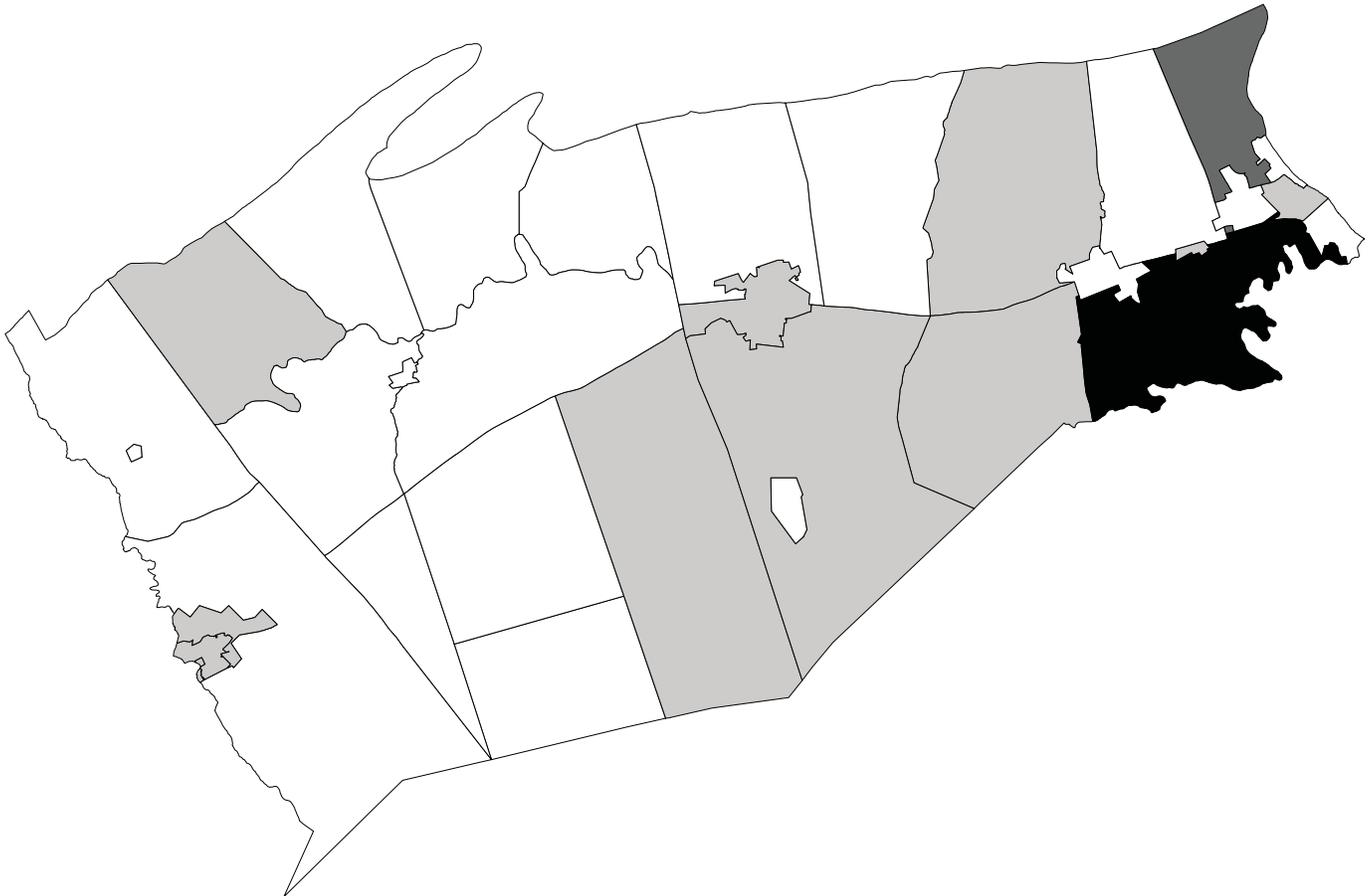
Amendment Types

Bloomfield Township
– <i>Not Reported</i>
Cambridge Township
– <i>Not Reported</i>
Conneautville Borough
– <i>Not Reported</i>
Cussewago Township
– <i>Not Reported</i>
North Shenango Township
– <i>Not Reported</i>
Pine Township
– <i>Not Reported</i>
Randolph Township
– <i>Not Reported</i>
Saegertown Borough
– <i>Not Reported</i>
South Shenango Township
– All alterations, renovations, remodeling, and repairs to existing residential structures – Electrical wiring or service upgrades in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Adopted appendices to the International Fire Code
Venango Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Cumberland County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

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Cumberland County

Table 1 of 2

Amendment Types

Carlisle Borough
– <i>Not Reported</i>
Dickinson Township
– <i>Not Reported</i>
East Pennsboro Township
<ul style="list-style-type: none"> – Excludes from building permit requirements all residential utility and miscellaneous use structures that have a building area of less than 200sq. ft., as long as they have no utility connections. – Excludes from residential building permit requirements only those repairs and alterations excluded in section R105.2 of the International Residential Code. – Requires a building permit for all residential decks that are attached to another structure.
Lemoyne Borough
– <i>Not Reported</i>
Lower Allen Township
<ul style="list-style-type: none"> – Requires a building permit for residential utility and miscellaneous use structures exceeding 200 sq. ft. or any sized utility and miscellaneous use structure that has heating or cooling equipment or is connected to a utility. – Requires a building permit for certain residential repairs and alterations. – Requires a building permit for residential decks that are attached to residential dwellings.
Monroe Township
– <i>Not Reported</i>
Shippensburg Borough
– <i>Not Reported</i>
Shippensburg Township
– <i>Not Reported</i>
Shiremanstown Borough
– <i>Not Reported</i>
Silver Spring Township
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Some alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures
South Middleton Township
– Footer frost line depth and ground snow loads
Upper Allen Township

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Cumberland County

Table 2 of 2

Amendment Types

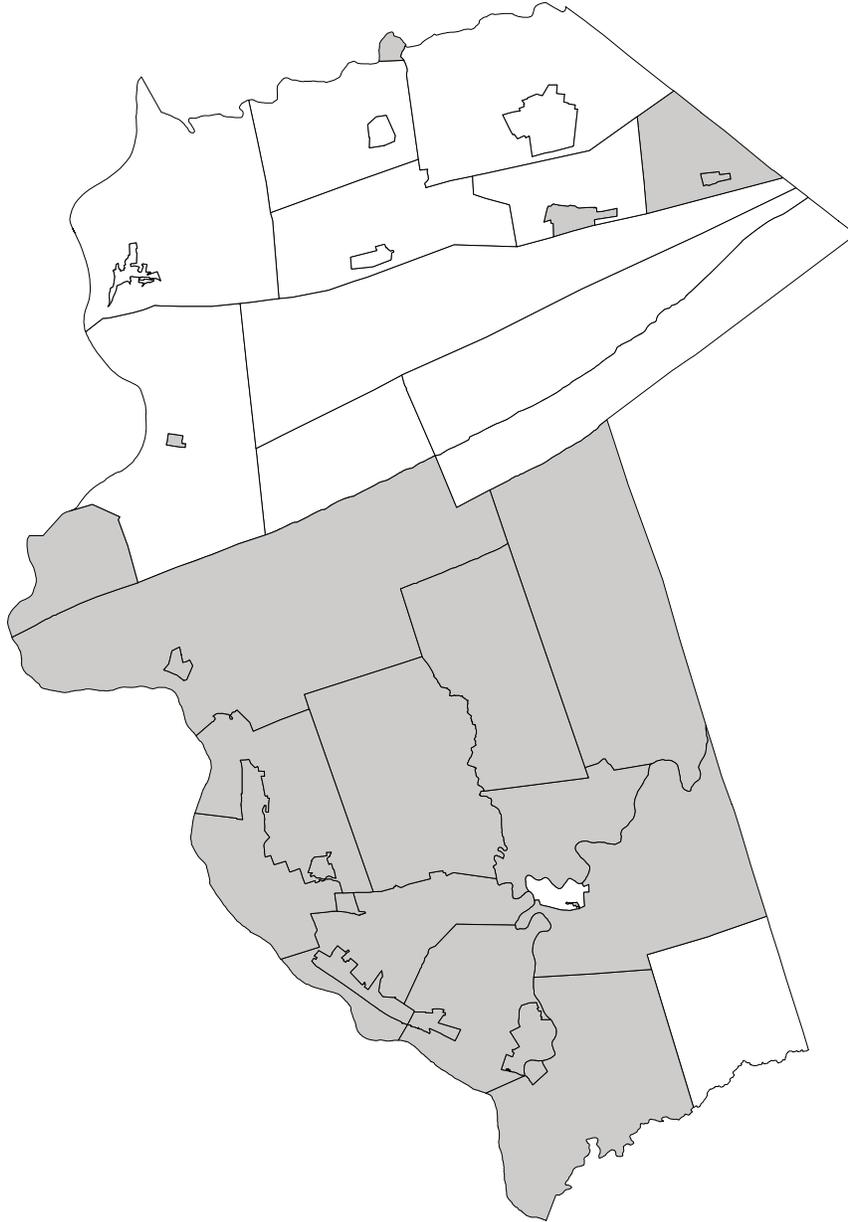
<ul style="list-style-type: none">- Residential utility and miscellaneous use structures under 1,000 sq ft- Requires a building permit for all residential alterations and repairs, and establishes certain exceptions.- Requires a building permit for all residential utility and miscellaneous use structures larger than 400 sq. ft.- Requires a building permit for all attached decks.
Upper Mifflin Township
<ul style="list-style-type: none">- <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Dauphin County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Dauphin County

Table 1 of 2

Amendment Types

Dauphin Borough
– <i>Not Reported</i>
Derry Township
– <i>Not Reported</i>
East Hanover Township
– <i>Not Reported</i>
Halifax Borough
– <i>Not Reported</i>
Harrisburg City
– <i>Not Reported</i>
Highspire Borough
<ul style="list-style-type: none"> – Some alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Electrical wiring or service upgrades in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Adopted appendices of UCC codes (other than Fire Code)
Londonderry Township
– <i>Not Reported</i>
Lower Paxton Township
– <i>Not Reported</i>
Lower Swatara Township
<ul style="list-style-type: none"> – Some alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Carbon monoxide detectors
Lykens Borough
– <i>Not Reported</i>
Middle Paxton Township
– <i>Not Reported</i>
Middletown Borough
– <i>Not Reported</i>
Paxtang Borough
– <i>Not Reported</i>
Penbrook Borough
– <i>Not Reported</i>
Pillow Borough
– <i>Not Reported</i>
Reed Township

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Dauphin County

Table 2 of 2

Amendment Types

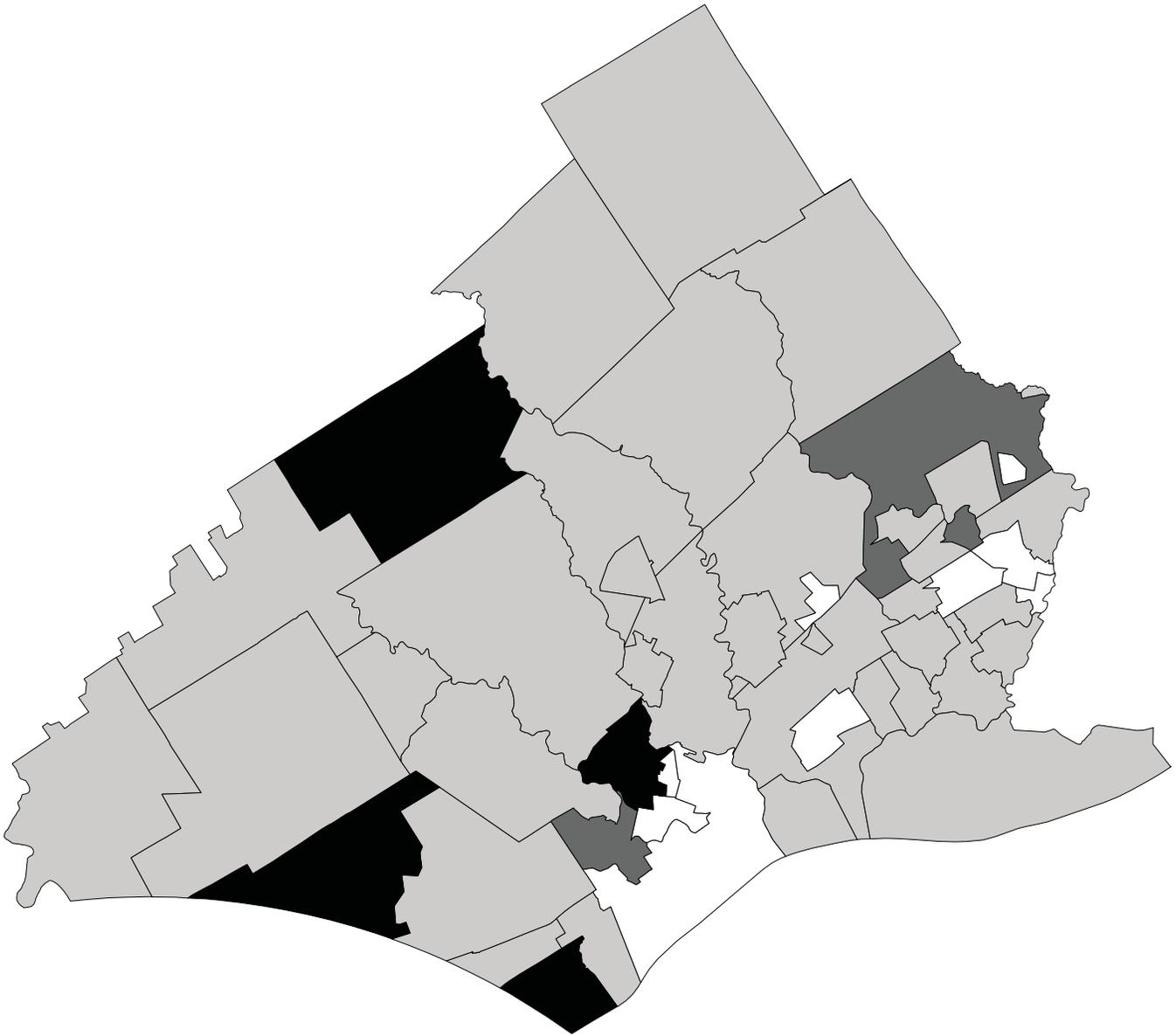
– Any construction not now covered by U.C.C. - i.e., sheds
Royalton Borough
– <i>Not Reported</i>
South Hanover Township
– <i>Not Reported</i>
Steelton Borough
– All alterations, renovations, remodeling, and repairs to existing residential structures
– Re-roofing
– Siding and/or replacement windows
– Electrical wiring or service upgrades in existing residential structures
– New or replacement mechanical equipment in existing residential structures
– New piping and/or new plumbing fixtures in existing residential structures
Susquehanna Township
– <i>Not Reported</i>
Swatara Township
– <i>Not Reported</i>
West Hanover Township
– All alterations, renovations, remodeling, and repairs to existing residential structures
Williams Township
– <i>Not Reported</i>
Williamstown Borough
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Delaware County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Delaware County

Table 1 of 3

Amendment Types

Aldan Borough
– <i>Not Reported</i>
Aston Township
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Carbon monoxide detectors
Bethel Township
– Requires a building permit for: deck, porch and stoop replacements and enlargements; the construction of residential utility and miscellaneous use structures with a building area of more than 200 sq. ft.; the creation of habitable space in a basement; the replacement, repair or enlargement of concrete aprons around swimming pools; and, roof replacements or repairs (except where less than 25% of the roof area is involved).
Brookhaven Borough
– Requires a building permit for all residential utility and miscellaneous use structures with a building area in excess of 120 sq. ft. and all such structures, whenever they have any utility connections.
Chadds Ford Township
– <i>Not Reported</i>
Chester Heights Borough
– <i>Not Reported</i>
Chester Township
<ul style="list-style-type: none"> – Requires that bedrooms have a floor area of not less than 90 sq. ft., and that all other habitable rooms, except for kitchens, shall have a floor area of not less than 70 sq. ft., in all buildings subject to the requirements of the International Residential Code. – Provides for administrative penalties.
Clifton Heights Borough
– <i>Not Reported</i>
Concord Township
– <i>Not Reported</i>
Darby Township
– <i>Not Reported</i>
Eddystone Borough
– <i>Not Reported</i>
Edgmont Township

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Delaware County

Table 2 of 3

Amendment Types

<ul style="list-style-type: none"> - Some alterations, renovations, remodeling, and repairs to existing residential structures - New piping and/or new plumbing fixtures in existing residential structures - Residential utility and miscellaneous use structures under 1,000 sq ft - Residential sprinklers - Requires a building permit for all residential utility and miscellaneous use structures with a building area of more than 300 sq. ft, or, if 300 sq. ft. or less and having a utility connection. - Requires a building permit for residential alterations and repairs and establishes 9 exceptions.
Folcroft Borough
- <i>Not Reported</i>
Glenolden Borough
- <i>Not Reported</i>
Haverford Township
- <i>Not Reported</i>
Lansdowne Borough
- <i>Not Reported</i>
Lower Chichester Township
- <i>Not Reported</i>
Marcus Hook Borough
<ul style="list-style-type: none"> - Requires the installation of sprinkler systems in two- and multi-family residential structures, and commercial, industrial, educational and religious occupancies of one or more stories in height.
Marple Township
- <i>Not Reported</i>
Media Borough
<ul style="list-style-type: none"> - All alterations, renovations, remodeling, and repairs to existing residential structures - Re-roofing - Residential utility and miscellaneous use structures under 1,000 sq ft - Residential sprinklers - Adopted appendices to the International Fire Code - Adopted appendices of UCC codes (other than Fire Code)
Middletown Township
- <i>Not Reported</i>
Millbourne Borough
- <i>Not Reported</i>
Nether Providence Township
- <i>Not Reported</i>
Newtown Township
- <i>Not Reported</i>
Norwood Borough
- <i>Not Reported</i>
Prospect Park Borough
- <i>Not Reported</i>
Radnor Township

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Delaware County

Table 3 of 3

Amendment Types

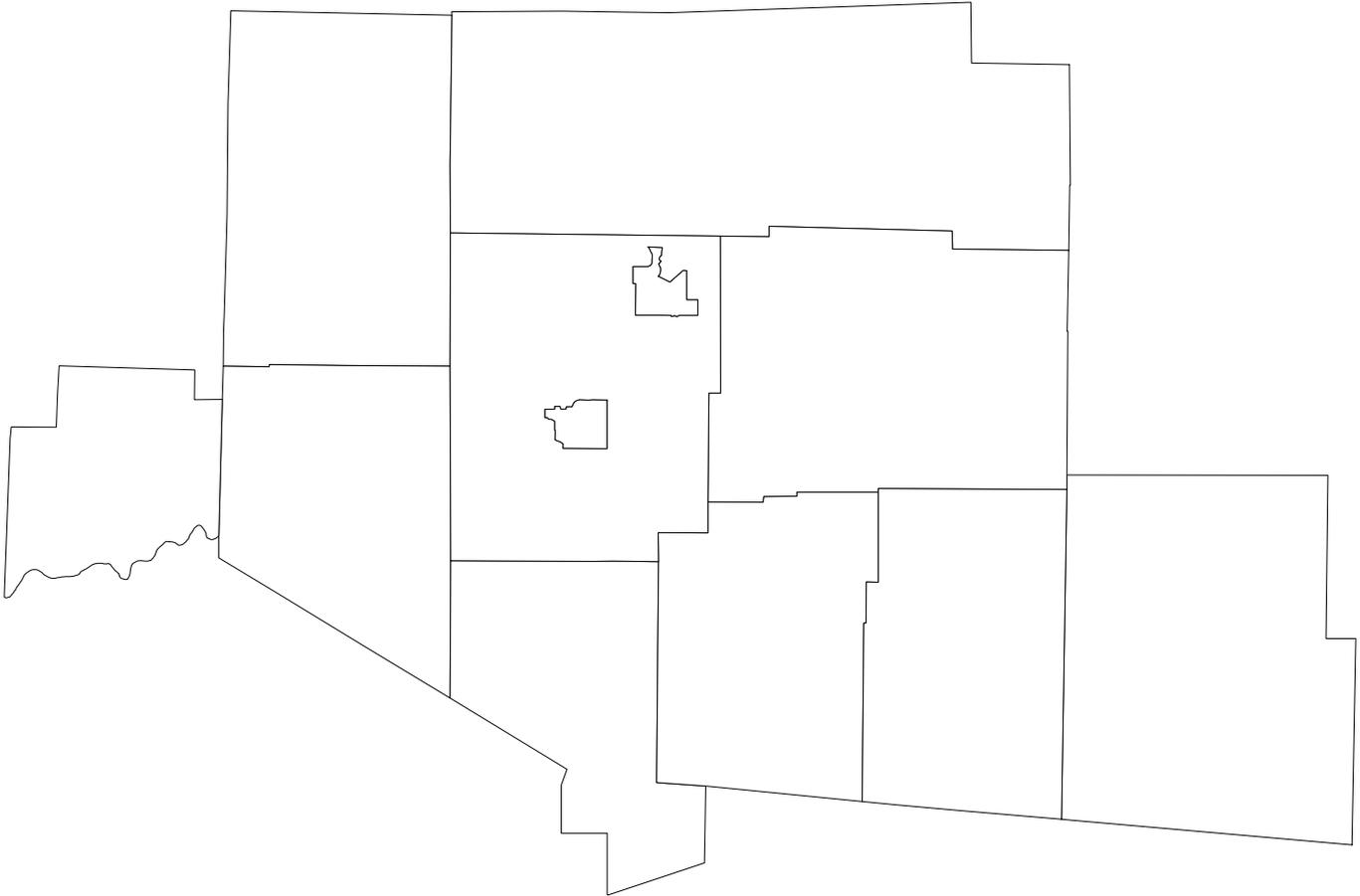
– <i>Not Reported</i>
Ridley Township
– <i>Not Reported</i>
Rose Valley Borough
– <i>Not Reported</i>
Rutledge Borough
– <i>Not Reported</i>
Sharon Hill Borough
– <i>Not Reported</i>
Springfield Township
– <i>Not Reported</i>
Swarthmore Borough
– <i>Not Reported</i>
Thornbury Township
– <i>Not Reported</i>
Tinicum Township
– <i>Not Reported</i>
Trainer Borough
– <i>Not Reported</i>
Upper Chichester Township
– <i>Not Reported</i>
Upper Darby Township
<ul style="list-style-type: none"> – Requires UCC permit for residential utility and miscellaneous use structures with a building area of 120 sq. ft. or more. – Requires a building permit for residential utility and miscellaneous use structures with a building area of less than 120 sq. ft., if they contain utilities. Requires a UCC permit for residential alterations and repairs, except as excluded in Chapter 1 of the IRC.
Upper Providence Township
– <i>Not Reported</i>
Yeadon Borough
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Elk County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Elk County

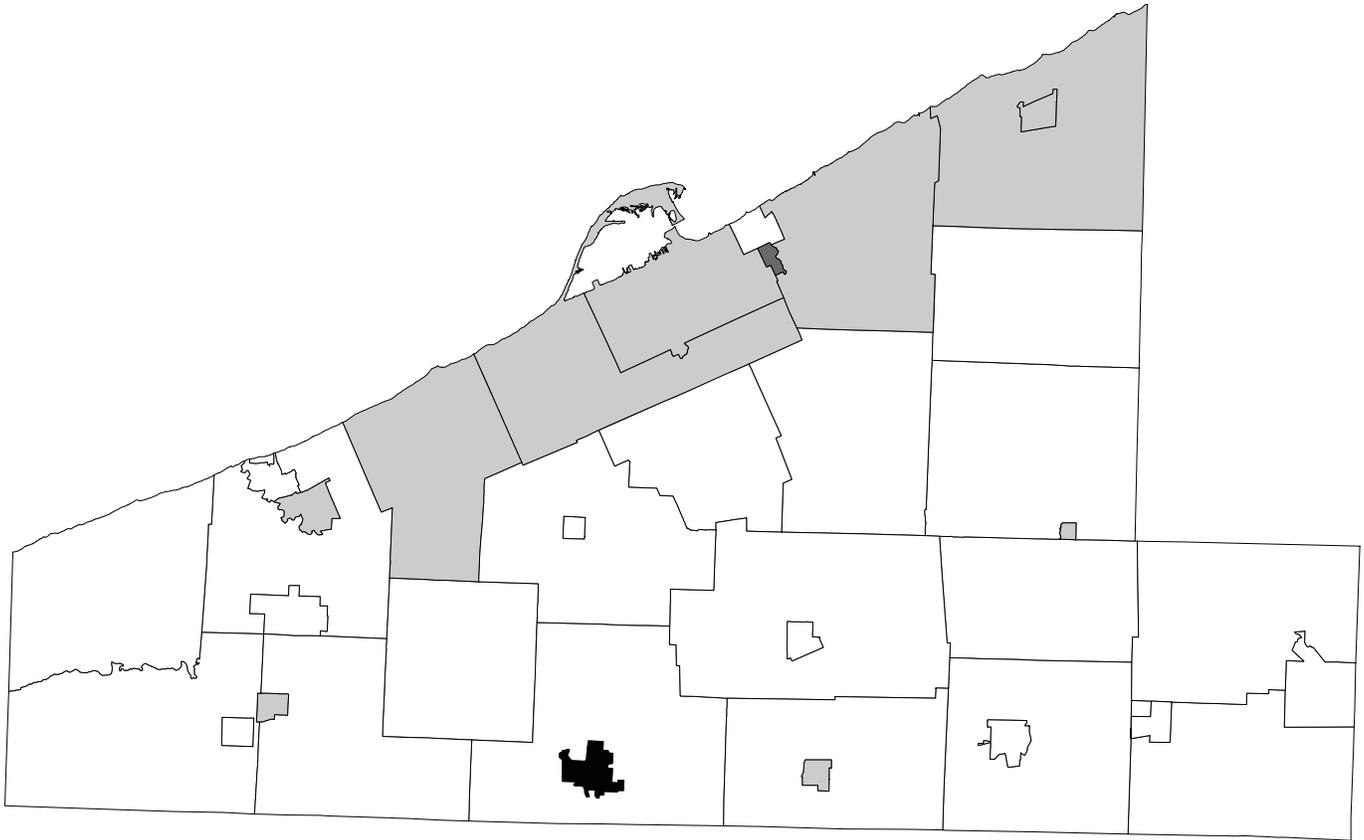
Table 1 of 1

Amendment Types

- There are no amendments on record in Cameron County.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Erie County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Erie County

Table 1 of 1

Amendment Types

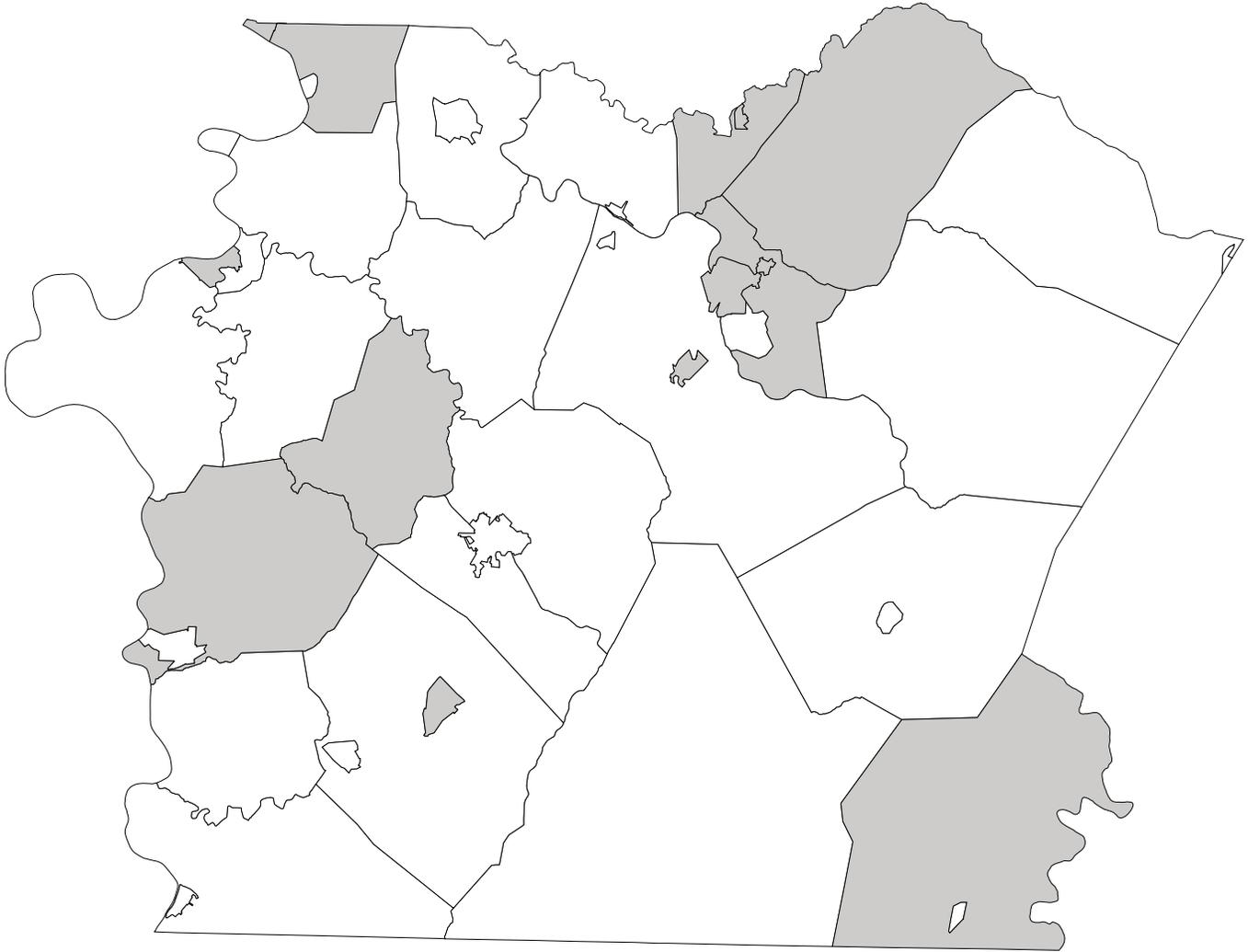
Cranesville Borough
– <i>Not Reported</i>
Edinboro Borough
– Requires a building permit for all residential utility and miscellaneous use structures with a building area in excess of 192 sq. ft.
Erie City
– All alterations, renovations, remodeling, and repairs to existing residential structures
– Electrical wiring or service upgrades in existing residential structures
– New or replacement mechanical equipment in existing residential structures
– New piping and/or new plumbing fixtures in existing residential structures
– Residential utility and miscellaneous use structures under 1,000 sq ft
Fairview Township
– <i>Not Reported</i>
Girard Borough
– <i>Not Reported</i>
Harborcreek Township
– <i>Not Reported</i>
Mill Village Borough
– <i>Not Reported</i>
Millcreek Township
– <i>Not Reported</i>
North East Borough
– <i>Not Reported</i>
North East Township
– <i>Not Reported</i>
Wattsburg Borough
– <i>Not Reported</i>
Wesleyville Borough
– Requires a building permit for all residential utility and miscellaneous use structures larger than 199 sq. ft.
– Requires a building permit for certain residential repairs and alterations.
– I-Residential Code: Re-institutes the smoke detector requirements found in section 313.1.1.

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Fayette County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Fayette County

Table 1 of 4

Amendment Types

Belle Vernon Borough
<ul style="list-style-type: none">- Radon mitigation- All alterations, renovations, remodeling, and repairs to existing residential structures- Some alterations, renovations, remodeling, and repairs to existing residential structures- Re-roofing- Siding and/or replacement windows- Electrical wiring or service upgrades in existing residential structures- New or replacement mechanical equipment in existing residential structures- New piping and/or new plumbing fixtures in existing residential structures- Residential utility and miscellaneous use structures under 1,000 sq ft- Carbon monoxide detectors- Residential sprinklers- Adopted appendices to the International Fire Code- Adopted appendices of UCC codes (other than Fire Code)
Brownsville Borough
<ul style="list-style-type: none">- Radon mitigation- All alterations, renovations, remodeling, and repairs to existing residential structures- Some alterations, renovations, remodeling, and repairs to existing residential structures- Re-roofing- Siding and/or replacement windows- Electrical wiring or service upgrades in existing residential structures- New or replacement mechanical equipment in existing residential structures- New piping and/or new plumbing fixtures in existing residential structures- Residential utility and miscellaneous use structures under 1,000 sq ft- Carbon monoxide detectors- Residential sprinklers- Adopted appendices to the International Fire Code- Adopted appendices of UCC codes (other than Fire Code)
Bullskin Township
<ul style="list-style-type: none">- Radon mitigation- All alterations, renovations, remodeling, and repairs to existing residential structures- Some alterations, renovations, remodeling, and repairs to existing residential structures- Re-roofing- Siding and/or replacement windows- Electrical wiring or service upgrades in existing residential structures- New or replacement mechanical equipment in existing residential structures- New piping and/or new plumbing fixtures in existing residential structures- Residential utility and miscellaneous use structures under 1,000 sq ft- Carbon monoxide detectors- Residential sprinklers- Adopted appendices to the International Fire Code- Adopted appendices of UCC codes (other than Fire Code)

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Fayette County

Table 2 of 4

Amendment Types

Connellsville City
– <i>Not Reported</i>
Connellsville Township
– <i>Not Reported</i>
Dunbar Borough
<ul style="list-style-type: none"> – Radon mitigation – All alterations, renovations, remodeling, and repairs to existing residential structures – Some alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Carbon monoxide detectors – Residential sprinklers – Adopted appendices to the International Fire Code – Adopted appendices of UCC codes (other than Fire Code)
Everson Borough
<ul style="list-style-type: none"> – Radon mitigation – All alterations, renovations, remodeling, and repairs to existing residential structures – Some alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Carbon monoxide detectors – Residential sprinklers – Adopted appendices to the International Fire Code – Adopted appendices of UCC codes (other than Fire Code)
Fairchance Borough
<ul style="list-style-type: none"> – Radon mitigation – All alterations, renovations, remodeling, and repairs to existing residential structures – Some alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Fayette County

Table 3 of 4

Amendment Types

<ul style="list-style-type: none"> - Carbon monoxide detectors - Residential sprinklers - Adopted appendices to the International Fire Code - Adopted appendices of UCC codes (other than Fire Code)
German Township
<ul style="list-style-type: none"> - Radon mitigation - All alterations, renovations, remodeling, and repairs to existing residential structures - Some alterations, renovations, remodeling, and repairs to existing residential structures - Re-roofing - Siding and/or replacement windows - Electrical wiring or service upgrades in existing residential structures - New or replacement mechanical equipment in existing residential structures - New piping and/or new plumbing fixtures in existing residential structures - Residential utility and miscellaneous use structures under 1,000 sq ft - Carbon monoxide detectors - Residential sprinklers - Adopted appendices to the International Fire Code - Adopted appendices of UCC codes (other than Fire Code)
Henry Clay Township
<ul style="list-style-type: none"> - Radon mitigation - All alterations, renovations, remodeling, and repairs to existing residential structures - Some alterations, renovations, remodeling, and repairs to existing residential structures - Re-roofing - Siding and/or replacement windows - Electrical wiring or service upgrades in existing residential structures - New or replacement mechanical equipment in existing residential structures - New piping and/or new plumbing fixtures in existing residential structures - Residential utility and miscellaneous use structures under 1,000 sq ft - Carbon monoxide detectors - Residential sprinklers - Adopted appendices to the International Fire Code - Adopted appendices of UCC codes (other than Fire Code)
Menallen Township
<ul style="list-style-type: none"> - <i>Not Reported</i>
Upper Tyrone Township
<ul style="list-style-type: none"> - Radon mitigation - All alterations, renovations, remodeling, and repairs to existing residential structures - Some alterations, renovations, remodeling, and repairs to existing residential structures - Re-roofing - Siding and/or replacement windows - Electrical wiring or service upgrades in existing residential structures - New or replacement mechanical equipment in existing residential structures

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Fayette County

Table 4 of 4

Amendment Types

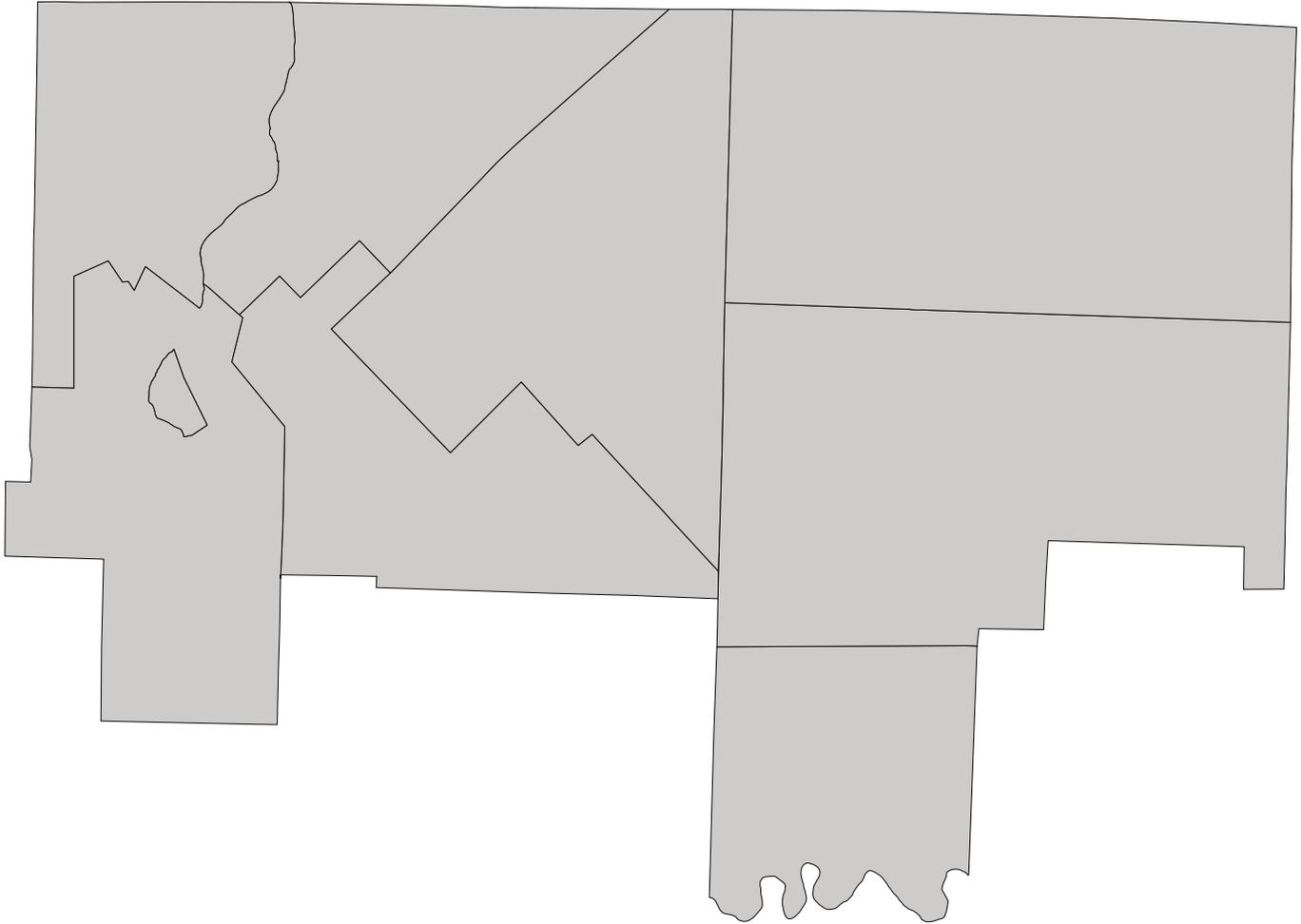
<ul style="list-style-type: none">- New piping and/or new plumbing fixtures in existing residential structures- Residential utility and miscellaneous use structures under 1,000 sq ft- Carbon monoxide detectors- Residential sprinklers- Adopted appendices to the International Fire Code- Adopted appendices of UCC codes (other than Fire Code)
Washington Township
<ul style="list-style-type: none">- Radon mitigation- All alterations, renovations, remodeling, and repairs to existing residential structures- Some alterations, renovations, remodeling, and repairs to existing residential structures- Re-roofing- Siding and/or replacement windows- Electrical wiring or service upgrades in existing residential structures- New or replacement mechanical equipment in existing residential structures- New piping and/or new plumbing fixtures in existing residential structures- Residential utility and miscellaneous use structures under 1,000 sq ft- Carbon monoxide detectors- Residential sprinklers- Adopted appendices to the International Fire Code- Adopted appendices of UCC codes (other than Fire Code)

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Forest County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

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Forest County

Table 1 of 1

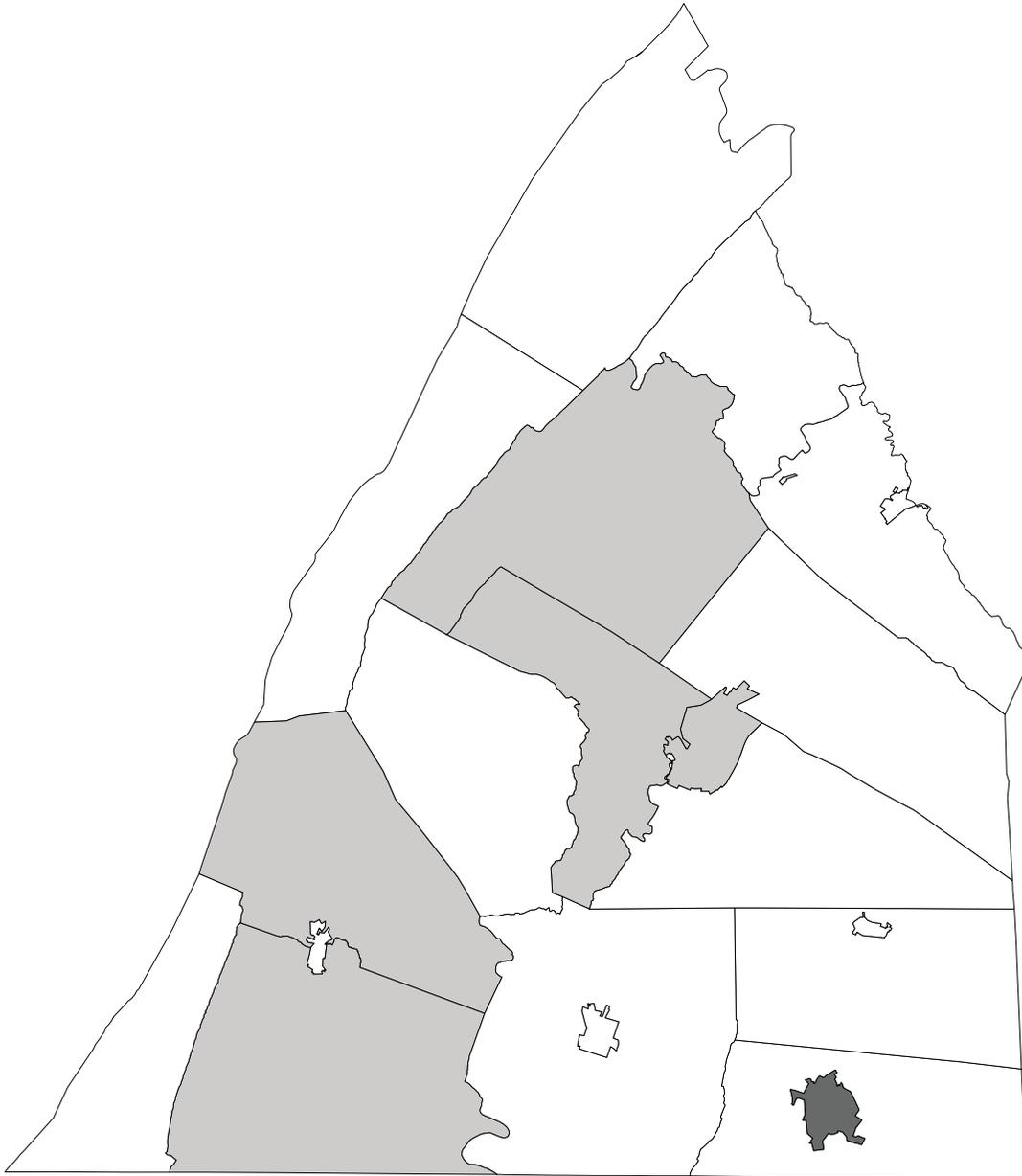
Amendment Types

Barnett Township
– <i>Not Reported</i>
Green Township
– <i>Not Reported</i>
Harmony Township
– <i>Not Reported</i>
Hickory Township
– <i>Not Reported</i>
Howe Township
– <i>Not Reported</i>
Jenks Township
– <i>Not Reported</i>
Kingsley Township
– <i>Not Reported</i>
Tionesta Borough
– <i>Not Reported</i>
Tionesta Township
– <i>Not Reported</i>

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Franklin County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Franklin County

Table 1 of 1

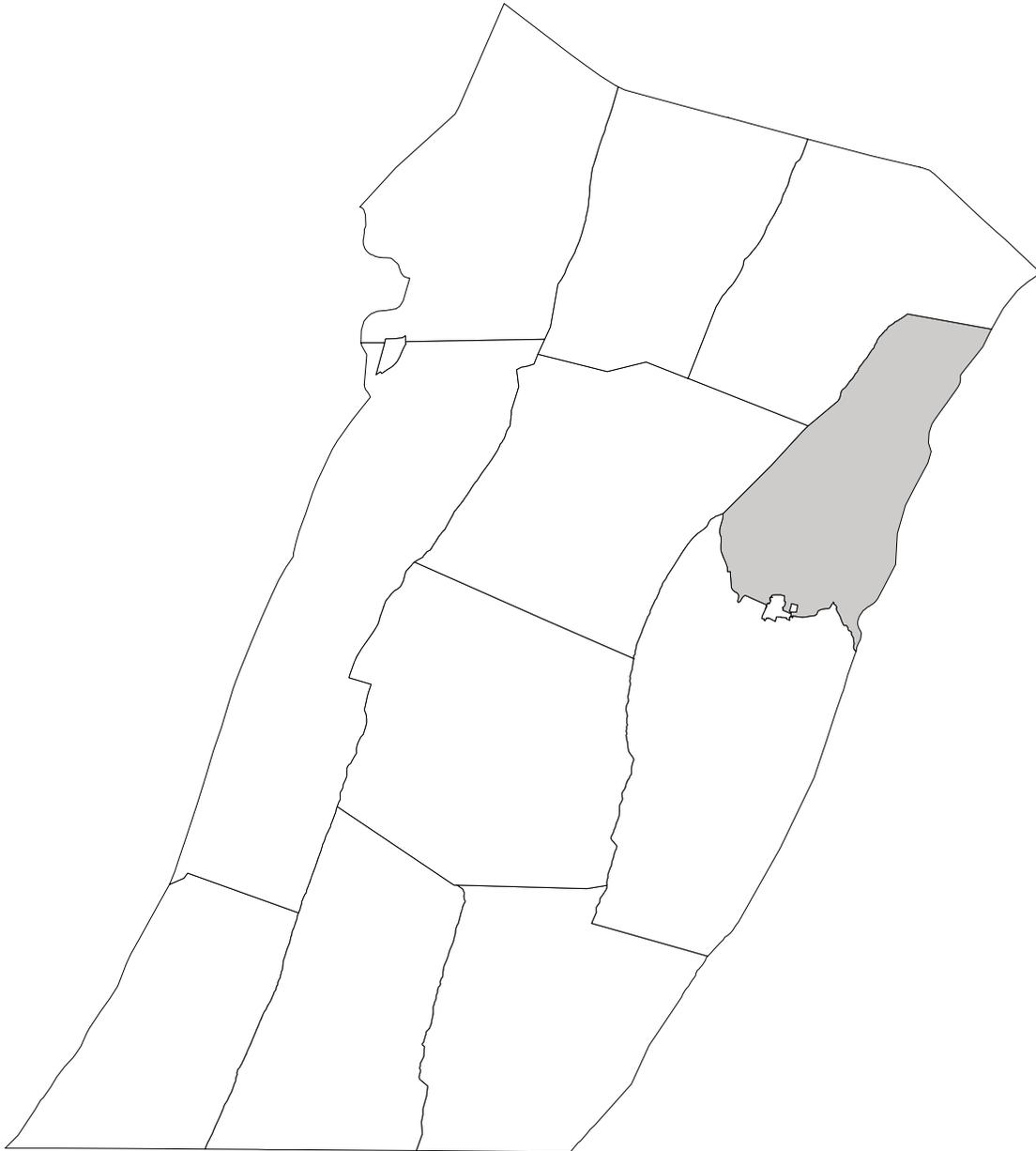
Amendment Types

Chambersburg Borough
– New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft
Hamilton Township
– <i>Not Reported</i>
Letterkenny Township
– <i>Not Reported</i>
Montgomery Township
– <i>Not Reported</i>
Peters Township
– <i>Not Reported</i>
Waynesboro Borough
– Requires building permits for certain residential alterations and repairs and provides exceptions.

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Fulton County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Fulton County

Table 1 of 1

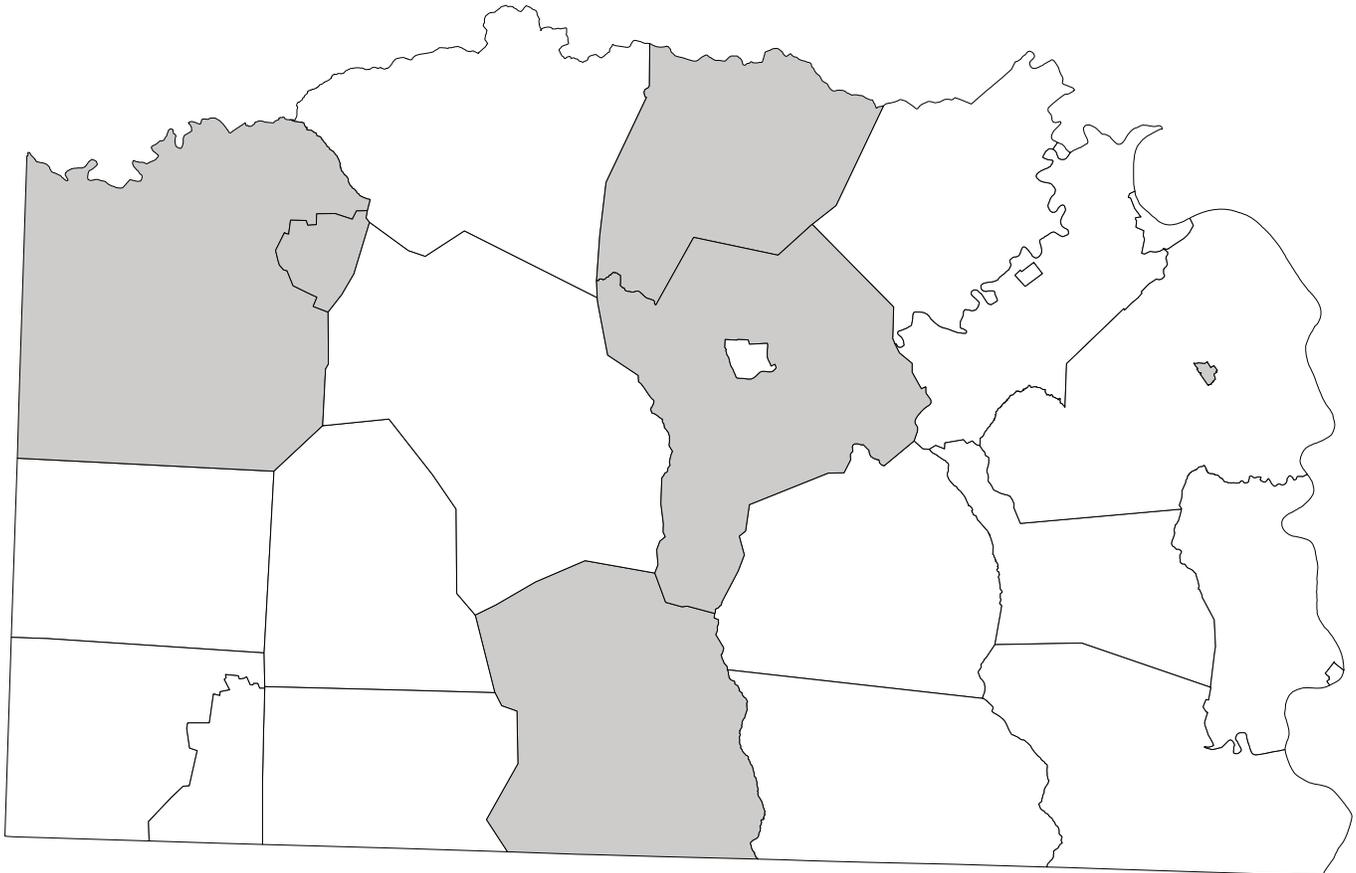
Amendment Types

Todd Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

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Greene County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

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Greene County

Table 1 of 1

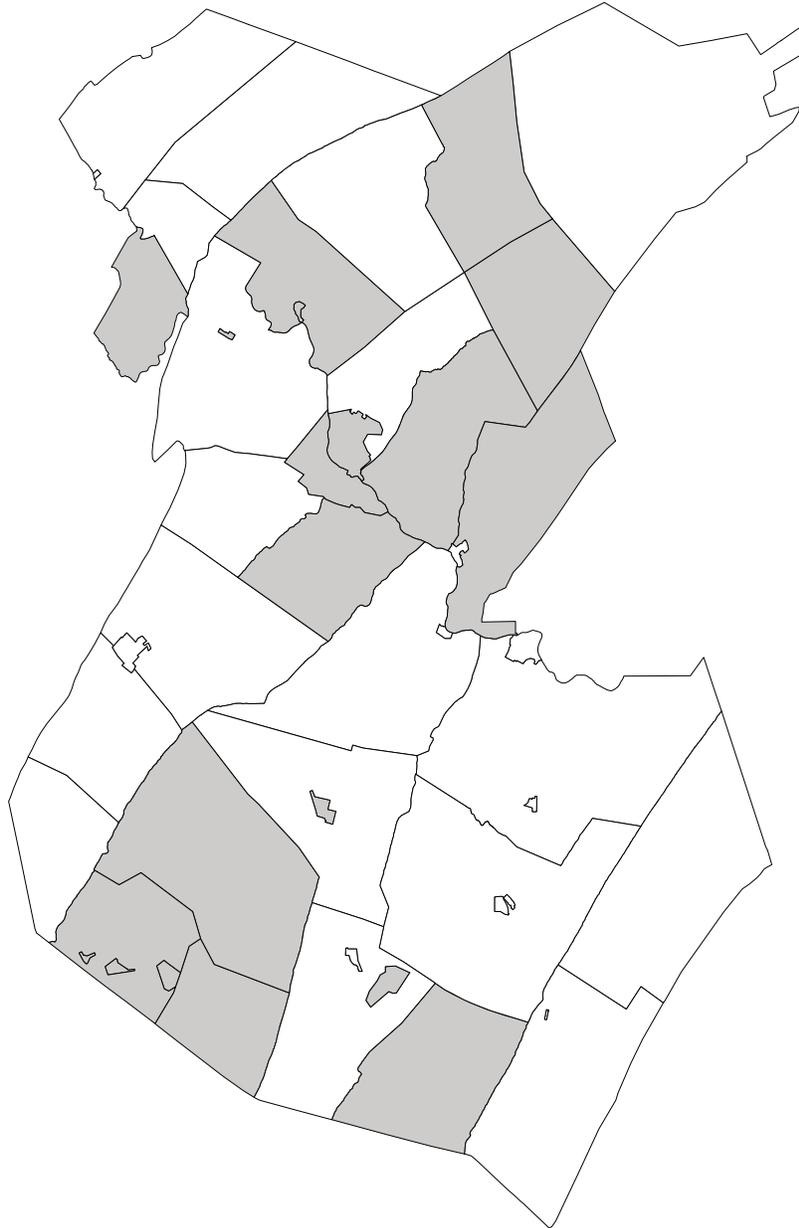
Amendment Types

Carmichaels Borough
– <i>Not Reported</i>
Franklin Township
– <i>Not Reported</i>
Gray Township
– <i>Not Reported</i>
Richhill Township
– <i>Not Reported</i>
Washington Township
– <i>Not Reported</i>
Wayne Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

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Huntingdon County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Huntingdon County

Table 1 of 2

Amendment Types

Alexandria Borough
– <i>Not Reported</i>
Barree Township
– <i>Not Reported</i>
Brady Township
– <i>Not Reported</i>
Broad Top City Borough
– <i>Not Reported</i>
Carbon Township
– <i>Not Reported</i>
Cassville Borough
– <i>Not Reported</i>
Coalmont Borough
– <i>Not Reported</i>
Dudley Borough
– <i>Not Reported</i>
Henderson Township
– <i>Not Reported</i>
Huntingdon Borough
– <i>Not Reported</i>
Juniata Township
– <i>Not Reported</i>
Logan Township
– <i>Not Reported</i>
Miller Township
– <i>Not Reported</i>
Morris Township
– <i>Not Reported</i>
Petersburg Borough
– <i>Not Reported</i>
Smithfield Township
– <i>Not Reported</i>
Springfield Township
– <i>Not Reported</i>
Three Springs Borough
– <i>Not Reported</i>
Todd Township
– <i>Not Reported</i>
Wood Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Huntingdon County

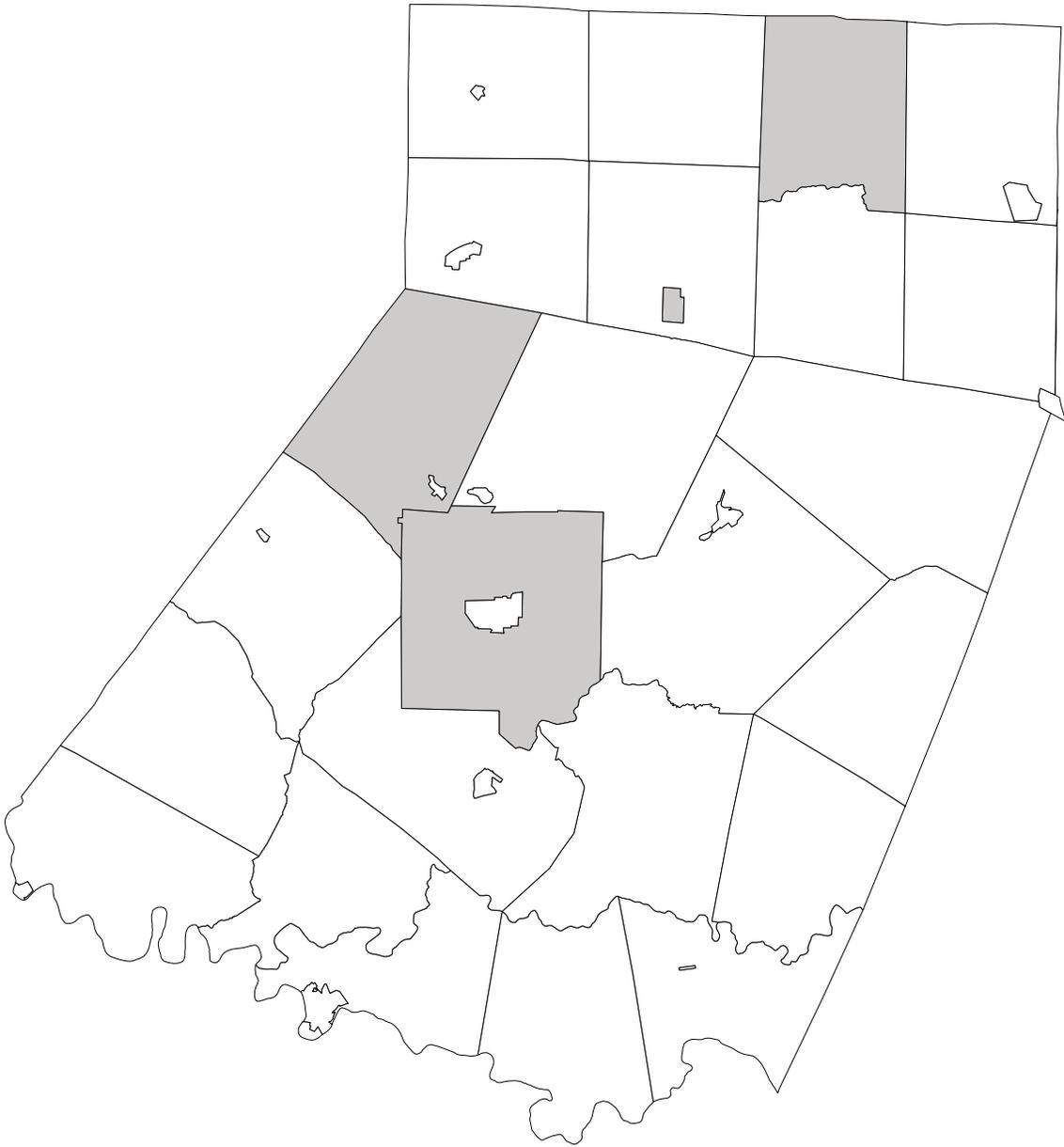
Table 2 of 2

Amendment Types

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Indiana County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Indiana County

Table 1 of 1

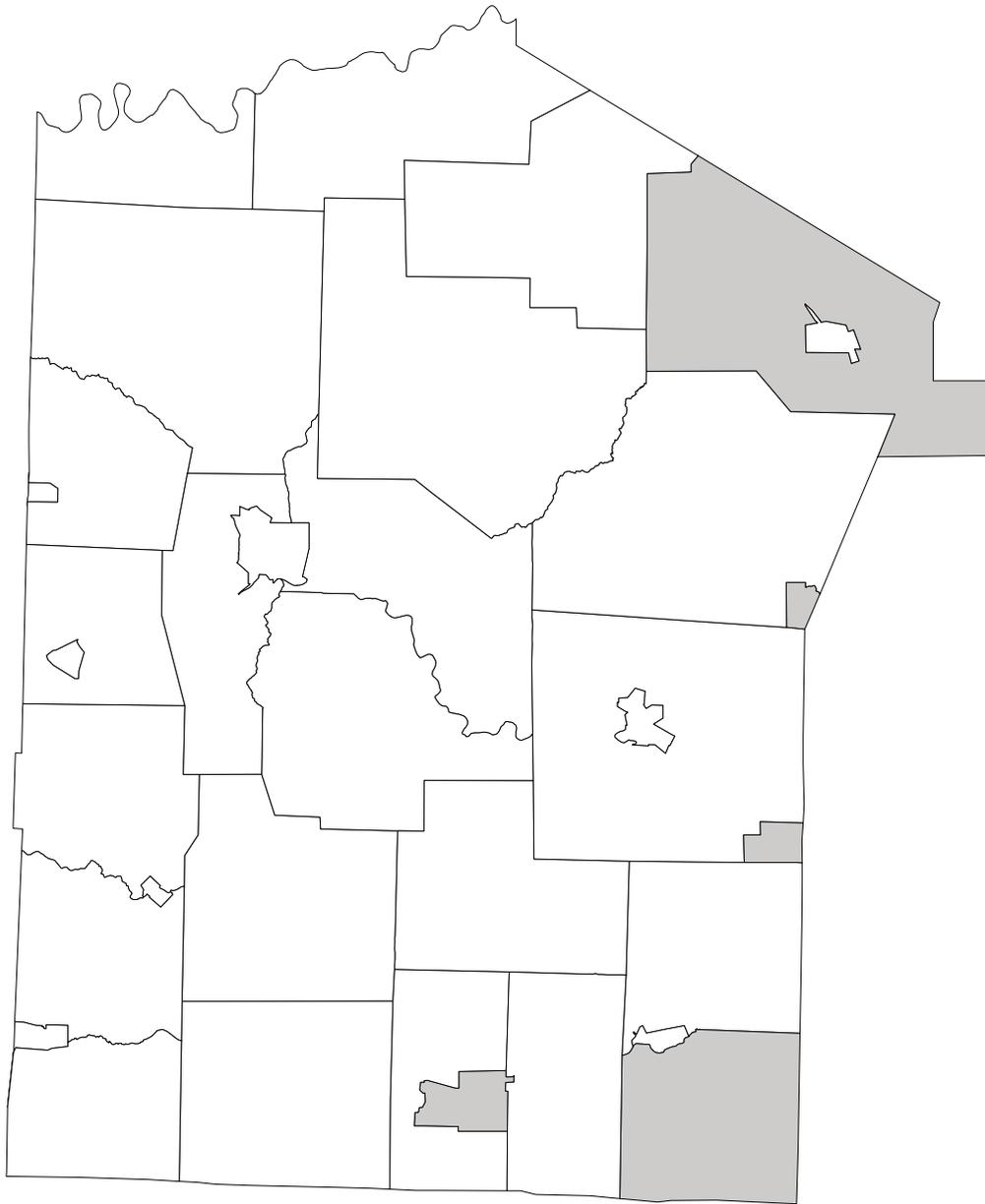
Amendment Types

Canoe Township
– <i>Not Reported</i>
Marion Center Borough
– <i>Not Reported</i>
Washington Township
– <i>Not Reported</i>
White Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

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Jefferson County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Jefferson County

Table 1 of 1

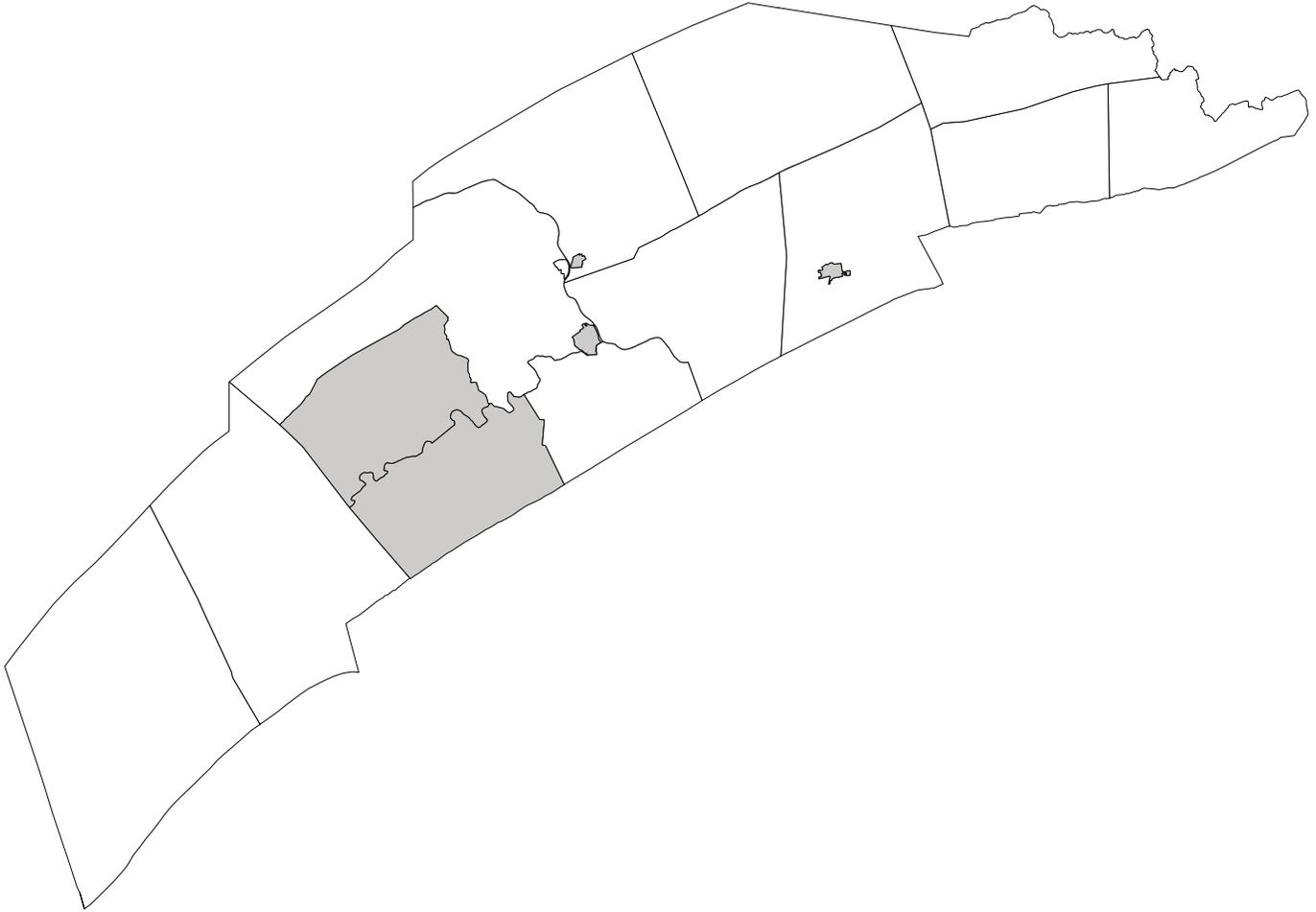
Amendment Types

Falls Creek Borough
– Not Reported
Gaskill Township
– Not Reported
Punxsutawney Borough
– Not Reported
Snyder Township
– Not Reported
Sykesville Borough
– Not Reported

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

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Juniata County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Juniata County

Table 1 of 1

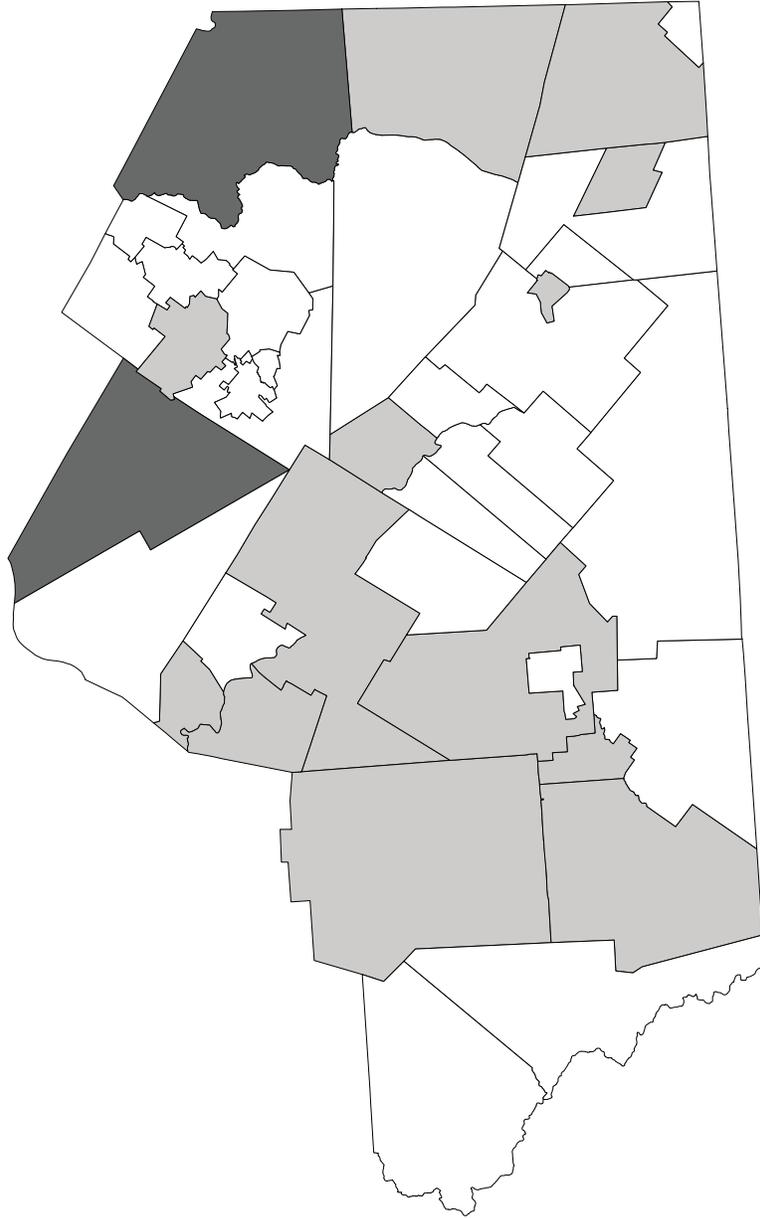
Amendment Types

Beale Township
– <i>Not Reported</i>
Mifflintown Borough
– <i>Not Reported</i>
Port Royal Borough
– <i>Not Reported</i>
Spruce Hill Township
– <i>Not Reported</i>
Thompstontown Borough
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Lackawanna County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Lackawanna County

Table 1 of 2

Amendment Types

Benton Township
– Requires a building permit for residential utility and miscellaneous use structures with a building area of 200 sq. ft. or more.
Carbondale City
– Radon mitigation
– All alterations, renovations, remodeling, and repairs to existing residential structures
– Some alterations, renovations, remodeling, and repairs to existing residential structures
– Re-roofing
– Siding and/or replacement windows
– Electrical wiring or service upgrades in existing residential structures
– New or replacement mechanical equipment in existing residential structures
– New piping and/or new plumbing fixtures in existing residential structures
– Residential utility and miscellaneous use structures under 1,000 sq ft
– Carbon monoxide detectors
– Residential sprinklers
– Adopted appendices to the International Fire Code
– Adopted appendices of UCC codes (other than Fire Code)
Covington Township
– <i>Not Reported</i>
Dickson City Borough
– <i>Not Reported</i>
Fell Township
– <i>Not Reported</i>
Glenburn Township
– <i>Not Reported</i>
Greenfield Township
– <i>Not Reported</i>
Jermyn Borough
– <i>Not Reported</i>
Moosic Borough
– <i>Not Reported</i>
Moscow Borough
– <i>Not Reported</i>
Newton Township
– Requires a building permit for all residential utility and miscellaneous use structures with a building area of 200 sq. ft. or more.
Old Forge Borough
– <i>Not Reported</i>
Roaring Brook Township
– Footing and foundation spec's
Scranton City
– Re-roofing

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Lackawanna County

Table 2 of 2

Amendment Types

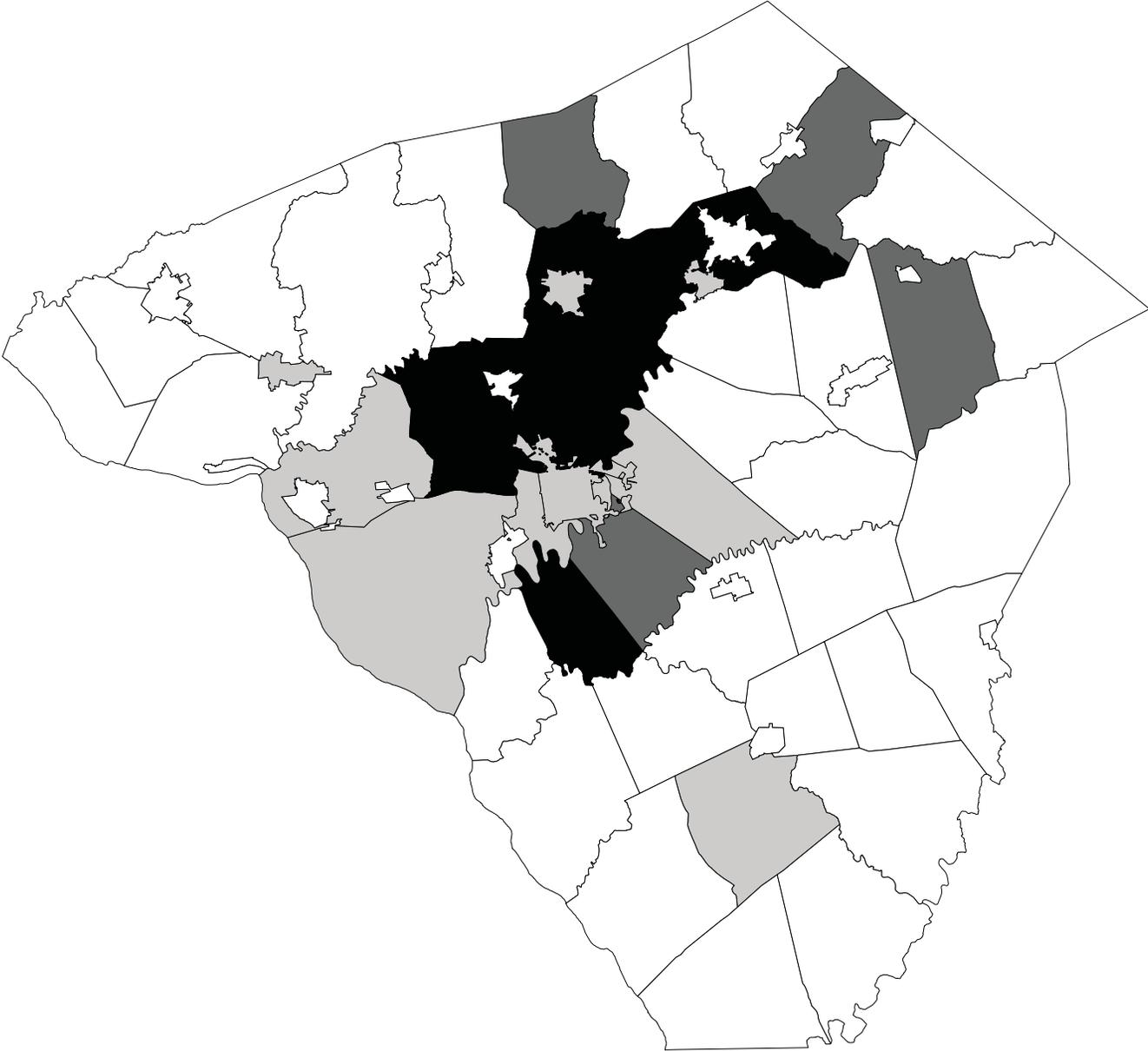
– Siding and/or replacement windows
Spring Brook Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Lancaster County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Lancaster County

Table 1 of 3

Amendment Types

Akron Borough
– <i>Not Reported</i>
East Cocalico Township
<ul style="list-style-type: none"> – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 400 sq. ft. or more. – Requires a building permit for all residential utility and miscellaneous use structures with a building area of less than 400 sq. ft., if they have a utility connection. – Requires a building permit for all residential alterations and repairs and establishes 9 exceptions.
East Drumore Township
– <i>Not Reported</i>
East Earl Township
<ul style="list-style-type: none"> – Adopts Appendices E., F., H., I., J. and K-K13 of the Int. Building Code and Appendices A., B., C., D., F., G., I., K., N., O. and Q of the Int. Residential Code. – Requires a building permit for all residential utility and miscellaneous use structures with a building area of more than 100 sq. ft. or with a lesser area, if served by a utility. – Requires a building permit for all residential alterations and repairs and specifies thirteen exceptions. – Amends other administrative and enforcement requirements, as allowed by 34 Pa Code §403.102(I).
East Hempfield Township
<ul style="list-style-type: none"> – Radon mitigation – All alterations, renovations, remodeling, and repairs to existing residential structures – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 400 sq. ft. or more and for those with a lesser building area that are served by a utility. – Requires a building permit for all residential alterations and repairs and establishes 9 exceptions. – Adopts Appendix F (Radon Control Methods) of the International Residential Code 2006.
East Lampeter Township
– <i>Not Reported</i>
Elizabeth Township
<ul style="list-style-type: none"> – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 400 sq. ft or more. – Requires a building permit for all residential utility and miscellaneous use structures with a building area of less than 400 sq. ft. that have a utility connection. – Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions.
Ephrata Township
– Adopts Appendix F (Radon Control Methods) of the International Residential Code.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Lancaster County

Table 2 of 3

Amendment Types

Lancaster City
– <i>Not Reported</i>
Lancaster Township
– <i>Not Reported</i>
Lititz Borough
– <i>Not Reported</i>
Manheim Township
<ul style="list-style-type: none"> – Radon mitigation – All alterations, renovations, remodeling, and repairs to existing residential structures – Some alterations, renovations, remodeling, and repairs to existing residential structures – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Adopted appendices of UCC codes (other than Fire Code) – Requires a building permit for all residential utility and miscellaneous use structures exceeding 400 sq. ft. or any sized utility and miscellaneous use structure that is connected to a utility. – Requires a building permit for all residential repairs and alterations, except where excluded by the UCC regulation at 403.62.
Manor Township
– <i>Not Reported</i>
Mount Joy Borough
– <i>Not Reported</i>
Pequea Township
<ul style="list-style-type: none"> – Adopts Appendix F (Radon Control Methods) of the International Residential Code. – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 400 sq. ft. or more. – Requires a building permit for all residential utility and miscellaneous use structures with a building area of less than 400 sq. ft. that have a utility connection. – Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions. – Requires compliance with the sewer lateral requirements issued by the Suburban Lancaster Sewer Authority in lieu of the requirements found in the International Plumbing Code and the International Residential Code.
Warwick Township

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Lancaster County

Table 3 of 3

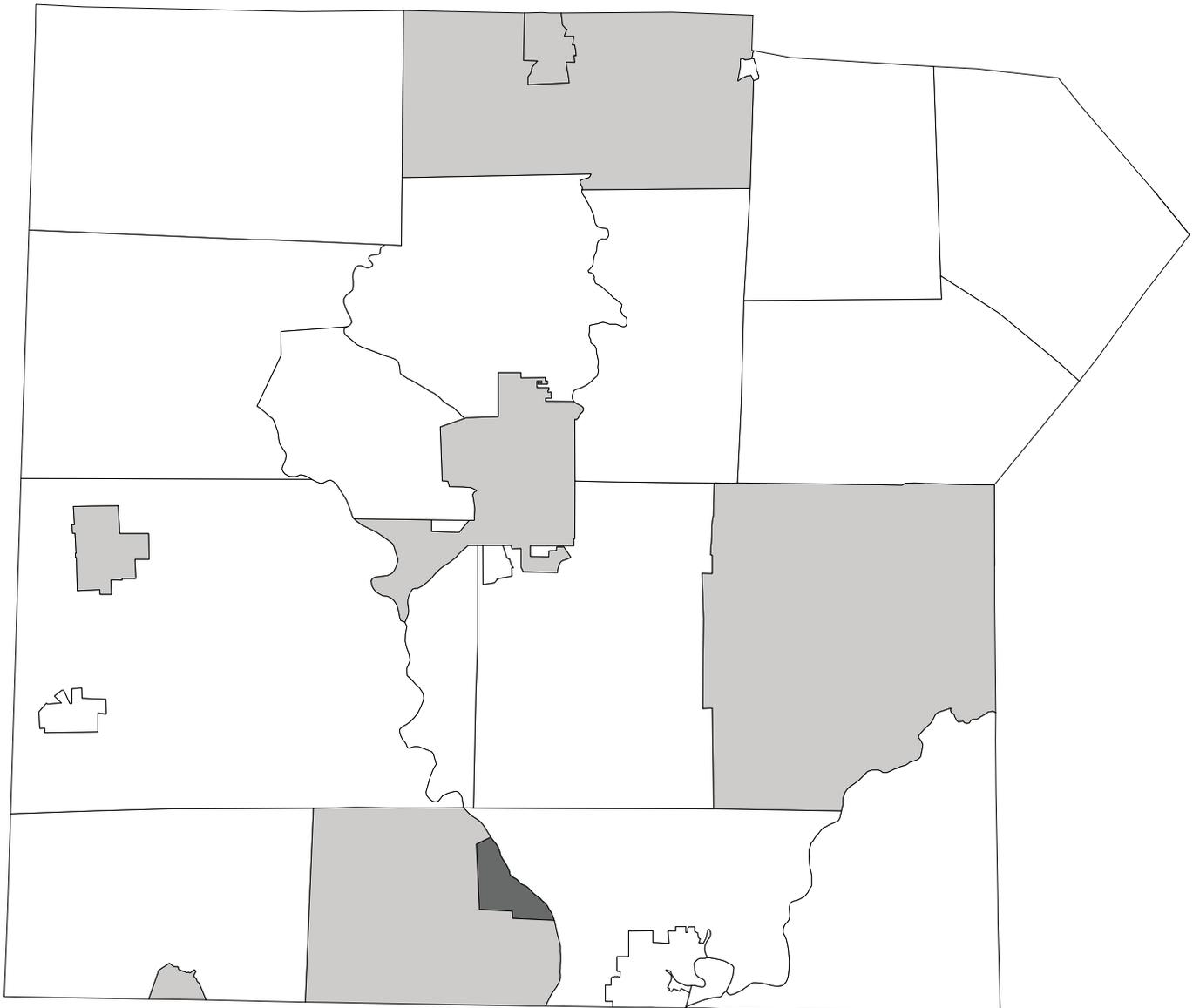
Amendment Types

<ul style="list-style-type: none">- Footer Specs and Drywall in garages- Requires a building permit for all residential utility and miscellaneous use structures with a building area of 400 sq. ft or more.- Requires a building permit for all residential utility and miscellaneous use structures with a building area of less than 400 sq. ft. that have a utility connection.- Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions.- Requires compliance with the sewer and water lateral requirements issued by the Municipal Authority in lieu of the requirements found in the International Plumbing Code and the International Residential Code.
West Hempfield Township
<ul style="list-style-type: none">- <i>Not Reported</i>
West Lampeter Township
<ul style="list-style-type: none">- Exempts from a building permit all residential utility and miscellaneous use structures that are less than 400 sq. ft. and that will have no utility service connections.- Requires a building permit for all residential utility and miscellaneous use structures that will be provided with any utility service.- Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions.

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Lawrence County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Lawrence County

Table 1 of 1

Amendment Types

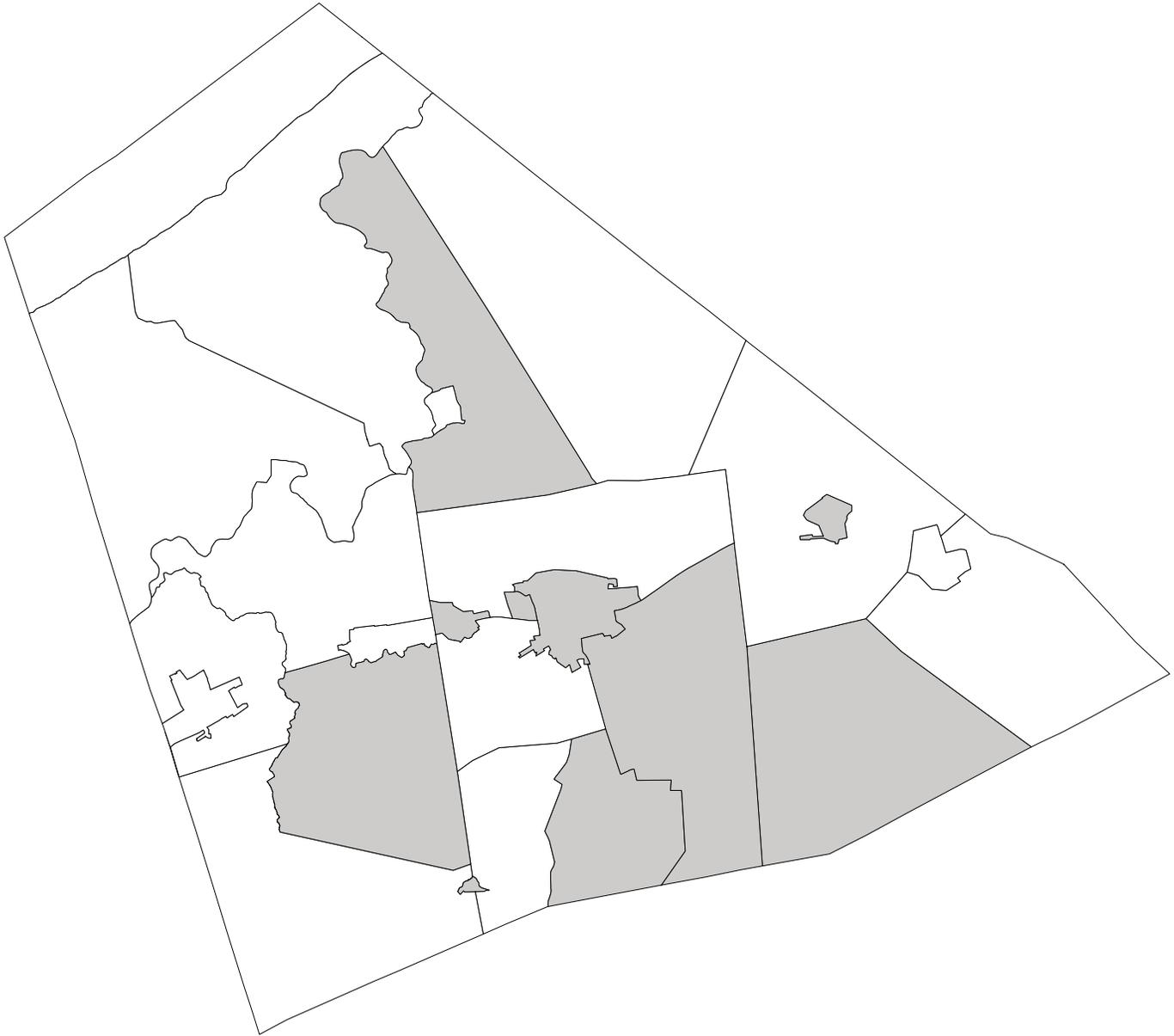
Bessemer Borough
– <i>Not Reported</i>
Enon Valley Borough
– Residential utility and miscellaneous use structures under 1,000 sq ft
New Beaver Borough
– <i>Not Reported</i>
New Castle City
– Some alterations, renovations, remodeling, and repairs to existing residential structures
– Residential utility and miscellaneous use structures under 1,000 sq ft
New Wilmington Borough
– <i>Not Reported</i>
Slippery Rock Township
– <i>Not Reported</i>
Wampum Borough
– Adopts the requirements of section 7210.902(b) of Act 45 for use in granting certificates of occupancy to uncertified buildings.
Wilmington Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Lebanon County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Lebanon County

Table 1 of 1

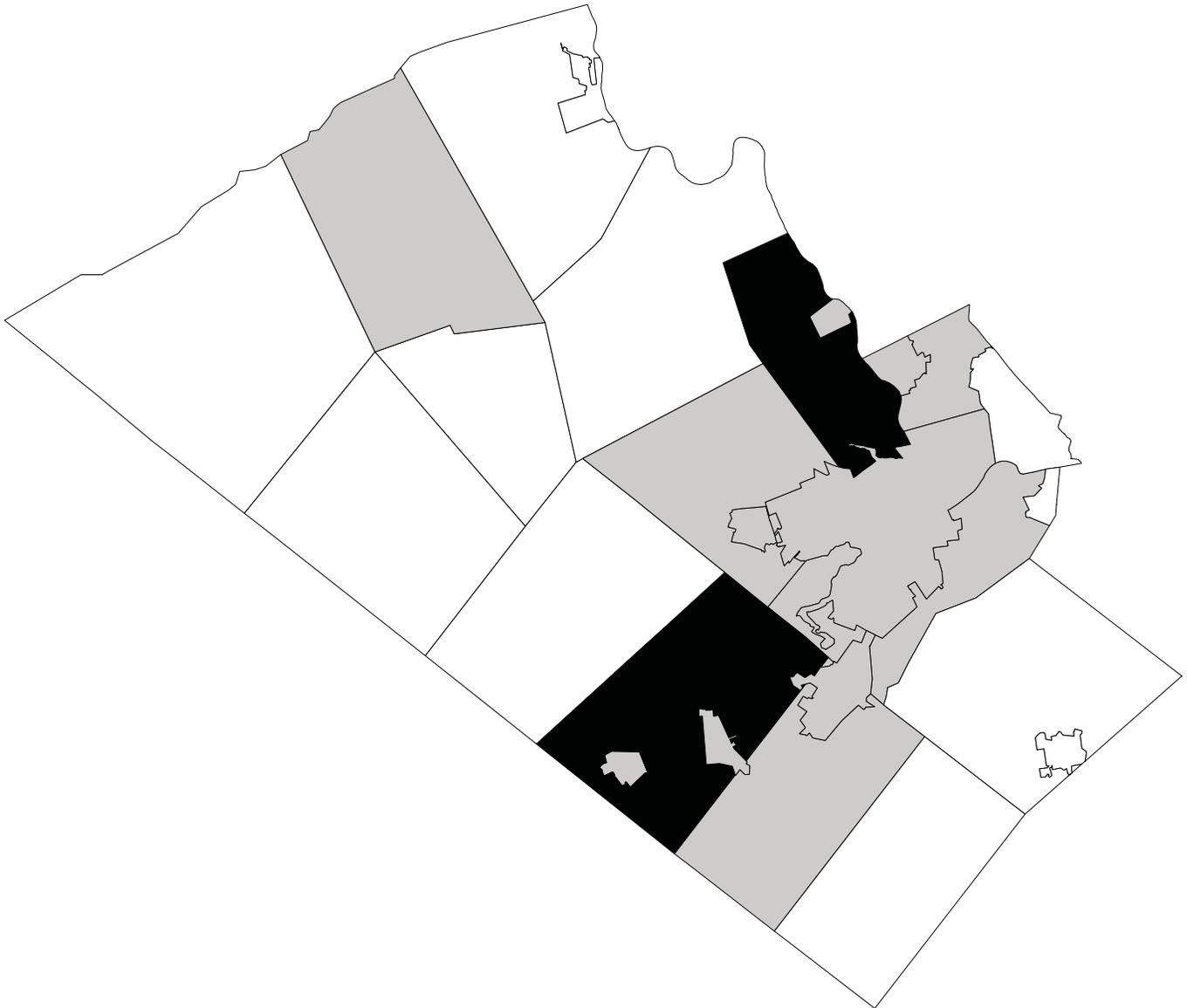
Amendment Types

Cleona Borough
– <i>Not Reported</i>
Cornwall Borough
– <i>Not Reported</i>
Heidelberg Township
– <i>Not Reported</i>
Lebanon City
– Demolition/Flood Plain Management
Mount Gretna Borough
– <i>Not Reported</i>
Myerstown Borough
– <i>Not Reported</i>
South Annville Township
– <i>Not Reported</i>
South Lebanon Township
– <i>Not Reported</i>
Swatara Township
– <i>Not Reported</i>
West Lebanon Township
– <i>Not Reported</i>

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This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Lehigh County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Lehigh County

Table 1 of 2

Amendment Types

Alburtis Borough
– <i>Not Reported</i>
Allentown City
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Electrical wiring or service upgrades in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Size and depth of footers and foundations, ground snow load
Catasauqua Borough
– <i>Not Reported</i>
Coplay Borough
– Accessory structures 200 square feet or more
Emmaus Borough
– Residential utility and miscellaneous use structures under 1,000 sq ft
Hanover Township
– <i>Not Reported</i>
Heidelberg Township
– <i>Not Reported</i>
Lower Macungie Township
<ul style="list-style-type: none"> – Requires a building permit for all residential alterations or repairs, except for those excluded by the International Residential Code. – Requires a building permit for all residential utility and miscellaneous use structures exceeding 250 sq. ft. – Requires a building permit for the installation of all hot water heaters. – Requires a building permit for the installation or alteration of all fireplaces or permanently wired appliances. – Requires that all habitable spaces or sleeping rooms comply with section 310 of the International Residential Code.
Macungie Borough
– <i>Not Reported</i>
Salisbury Township
<ul style="list-style-type: none"> – Some alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft
South Whitehall Township
<ul style="list-style-type: none"> – Some alterations, renovations, remodeling, and repairs to existing residential structures – Electrical wiring or service upgrades in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Lehigh County

Table 2 of 2

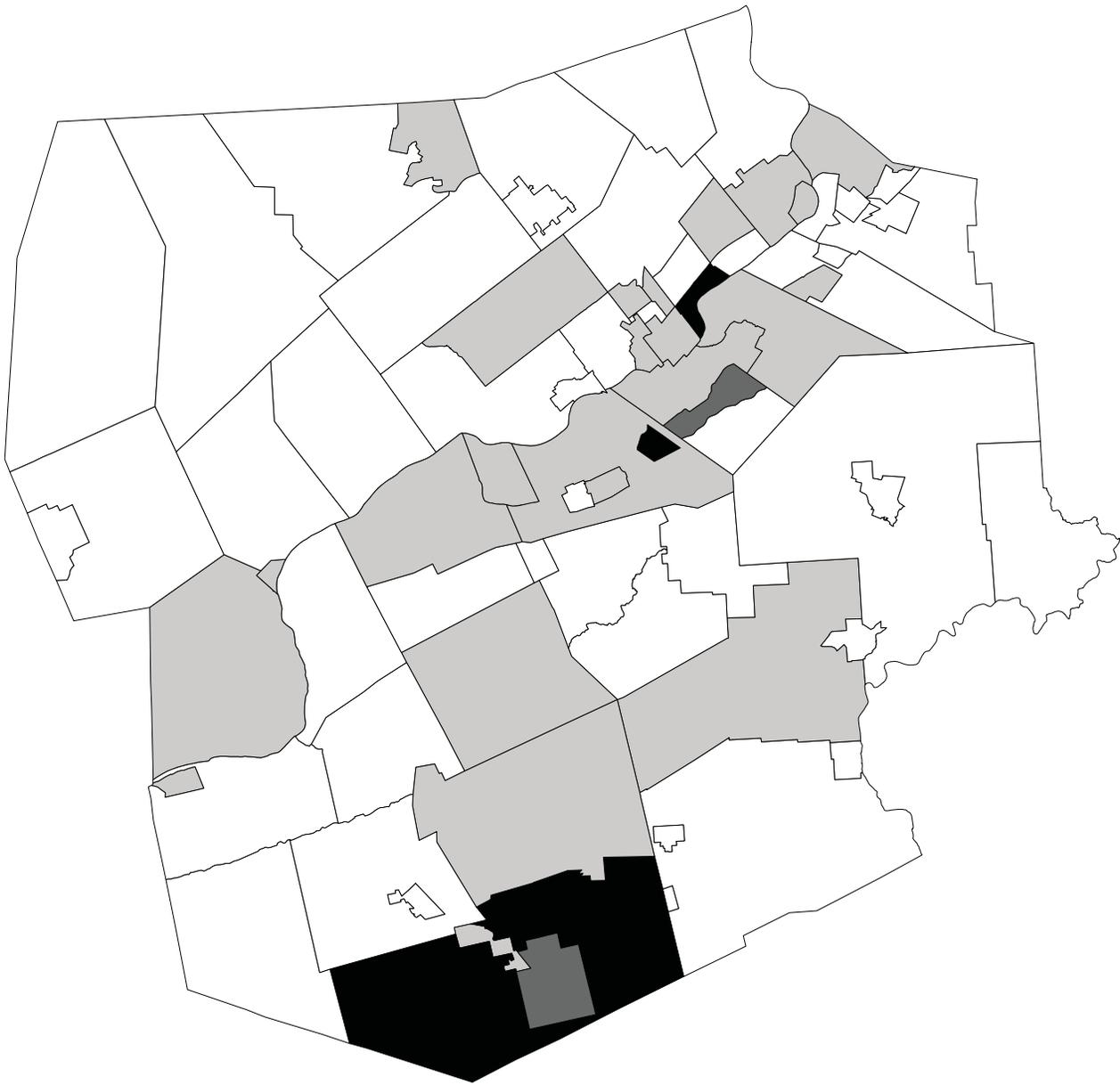
Amendment Types

<ul style="list-style-type: none"> – Residential utility and miscellaneous use structures under 1,000 sq ft
Upper Milford Township
<ul style="list-style-type: none"> – Radon mitigation – Some alterations, renovations, remodeling, and repairs to existing residential structures – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft
Whitehall Township
<ul style="list-style-type: none"> – Some alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Wood fired boilers – Prohibits the installation of outdoor wood-burning furnaces used to heat any building or structure.

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

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Luzerne County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Luzerne County

Table 1 of 3

Amendment Types

Ashley Borough
– <i>Not Reported</i>
Butler Township
– <i>Not Reported</i>
Courtdale Borough
– <i>Not Reported</i>
Dennison Township
– <i>Not Reported</i>
Dorrance Township
– <i>Not Reported</i>
Duryea Borough
– <i>Not Reported</i>
Edwardsville Borough
– <i>Not Reported</i>
Exeter Borough
– <i>Not Reported</i>
Forty Fort Borough
<ul style="list-style-type: none"> – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 120 sq. ft or more. – Requires a building permit for all residential utility and miscellaneous use structures with a building area of less than 120 sq. ft. and that have a utility connection. – Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions.
Hanover Township
– <i>Not Reported</i>
Harveys Lake Borough
– <i>Not Reported</i>
Hazle Township
<ul style="list-style-type: none"> – I-Residential Code: Amends section M1804.2.5.1 to require direct vent terminations of not less than 7 ft., when the manufacturer does not specify a clearance height over a walkway, balcony or deck area. – Requires a building permit for all detached accessory structures. – I-Residential Code: Amends sections R309.1, R403.1, R403.1.3, R405.1, R502.2.1, R602.8, R611.1, R1004.1, M1401, P2904.5.1, Table P2904.4.1, Table 2904.5., Table P3002.1, Table P3202.4, P3201.4, P3113.1, and E3601.
Hazleton City
<ul style="list-style-type: none"> – Requires a building permit for all residential utility and miscellaneous use structures of more than 120 sq. ft. – Requires a building permit for all residential alterations and repairs, except for painting, papering, tiling, carpeting and similar finish work. – Requires a permit for siding on residential and commercial buildings. – Amends other administrative and enforcement requirements, as allowed by 34 Pa Code

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Luzerne County

Table 2 of 3

Amendment Types

§403.102(l).
Jackson Township
– <i>Not Reported</i>
Kingston Borough
– <i>Not Reported</i>
Laflin Borough
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Some alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Adopted appendices to the International Fire Code – Adopted appendices of UCC codes (other than Fire Code)
Luzerne Borough
– <i>Not Reported</i>
Nanticoke City
– <i>Not Reported</i>
Nescopeck Borough
– <i>Not Reported</i>
Newport Township
– <i>Not Reported</i>
Plains Township
– <i>Not Reported</i>
Salem Township
– <i>Not Reported</i>
Shickshinny Borough
– <i>Not Reported</i>
Sugar Notch Borough
– <i>Not Reported</i>
West Hazleton Borough
– <i>Not Reported</i>
West Pittston Borough
– <i>Not Reported</i>
West Wyoming Borough

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Luzerne County

Table 3 of 3

Amendment Types

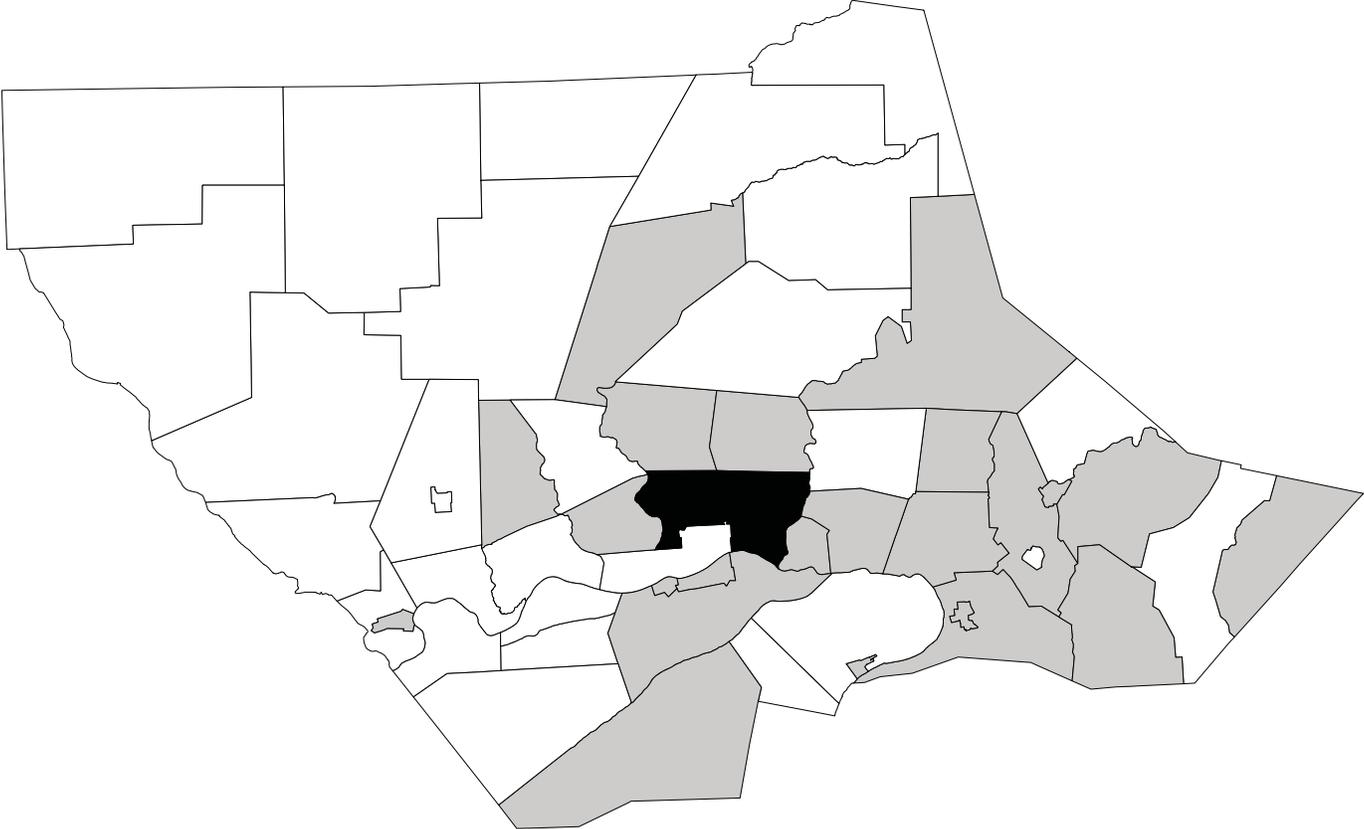
<ul style="list-style-type: none">- All alterations, renovations, remodeling, and repairs to existing residential structures- Re-roofing- Siding and/or replacement windows- Electrical wiring or service upgrades in existing residential structures- New or replacement mechanical equipment in existing residential structures- New piping and/or new plumbing fixtures in existing residential structures- Residential utility and miscellaneous use structures under 1,000 sq ft- Residential sprinklers
Wilkes Barre City
<ul style="list-style-type: none">- Requires a building permit for residential storage sheds with a building area greater than 200 sq. ft. and for a wide variety of alterations and construction related to residential buildings.

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Lycoming County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

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Lycoming County

Table 1 of 2

Amendment Types

Anthony Township
– <i>Not Reported</i>
Armstrong Township
– <i>Not Reported</i>
Duboistown Borough
– <i>Not Reported</i>
Eldred Township
– <i>Not Reported</i>
Fairfield Township
– <i>Not Reported</i>
Hepburn Township
– <i>Not Reported</i>
Jersey Shore Borough
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft
Jordan Township
– <i>Not Reported</i>
Lewis Township
– <i>Not Reported</i>
Loyalsock Township
<ul style="list-style-type: none"> – Some alterations, renovations, remodeling, and repairs to existing residential structures – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Adopts numerous portions of the International Fire Code 2009 not referenced in the International Building Code and not otherwise enforceable. – Requires a building permit for all residential utility and miscellaneous use structures with a building area exceeding 500 sq. ft. – Requires a building permit for all residential alterations except for minor framing changes needed to replace windows and doors.
Mill Creek Township
– <i>Not Reported</i>
Montgomery Borough
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing
Montoursville Borough
– <i>Not Reported</i>

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Lycoming County

Table 2 of 2

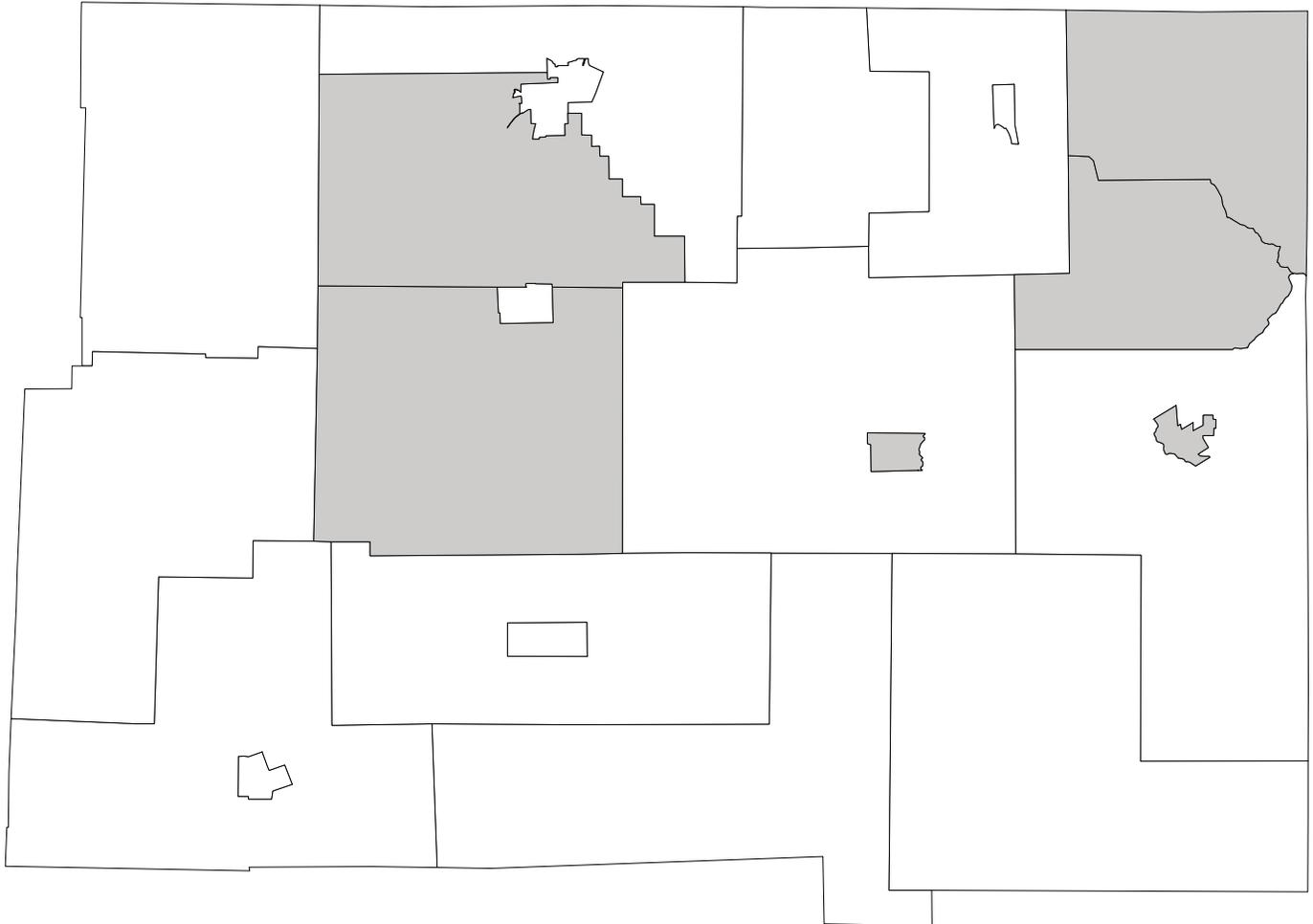
Amendment Types

Moreland Township
– <i>Not Reported</i>
Muncy Borough
– <i>Not Reported</i>
Muncy Township
– <i>Not Reported</i>
Muncy Creek Township
– <i>Not Reported</i>
Old Lycoming Township
– <i>Not Reported</i>
Penn Township
– <i>Not Reported</i>
Picture Rocks Borough
– <i>Not Reported</i>
Plunketts Creek Township
– <i>Not Reported</i>
South Williamsport Borough
– <i>Not Reported</i>
Washington Township
– <i>Not Reported</i>
Wolf Township
– <i>Not Reported</i>

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McKean County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
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-  Both

*as of October 2012

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McKean County

Table 1 of 1

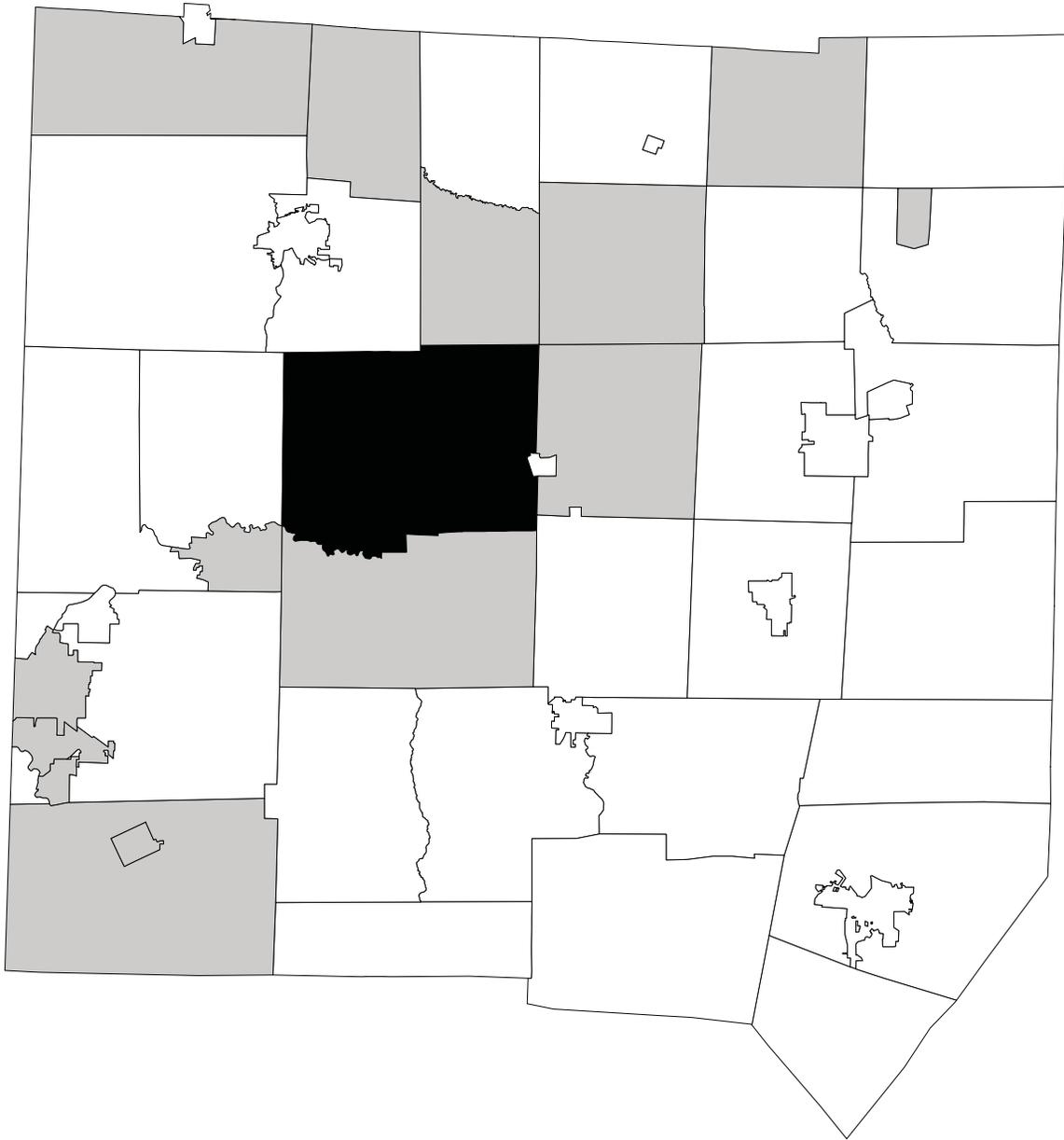
Amendment Types

Annin Township
– <i>Not Reported</i>
Bradford Township
– <i>Not Reported</i>
Ceres Township
– <i>Not Reported</i>
Lafayette Township
– <i>Not Reported</i>
Port Allegany Borough
– <i>Not Reported</i>
Smethport Borough
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

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Mercer County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Mercer County

Table 1 of 1

Amendment Types

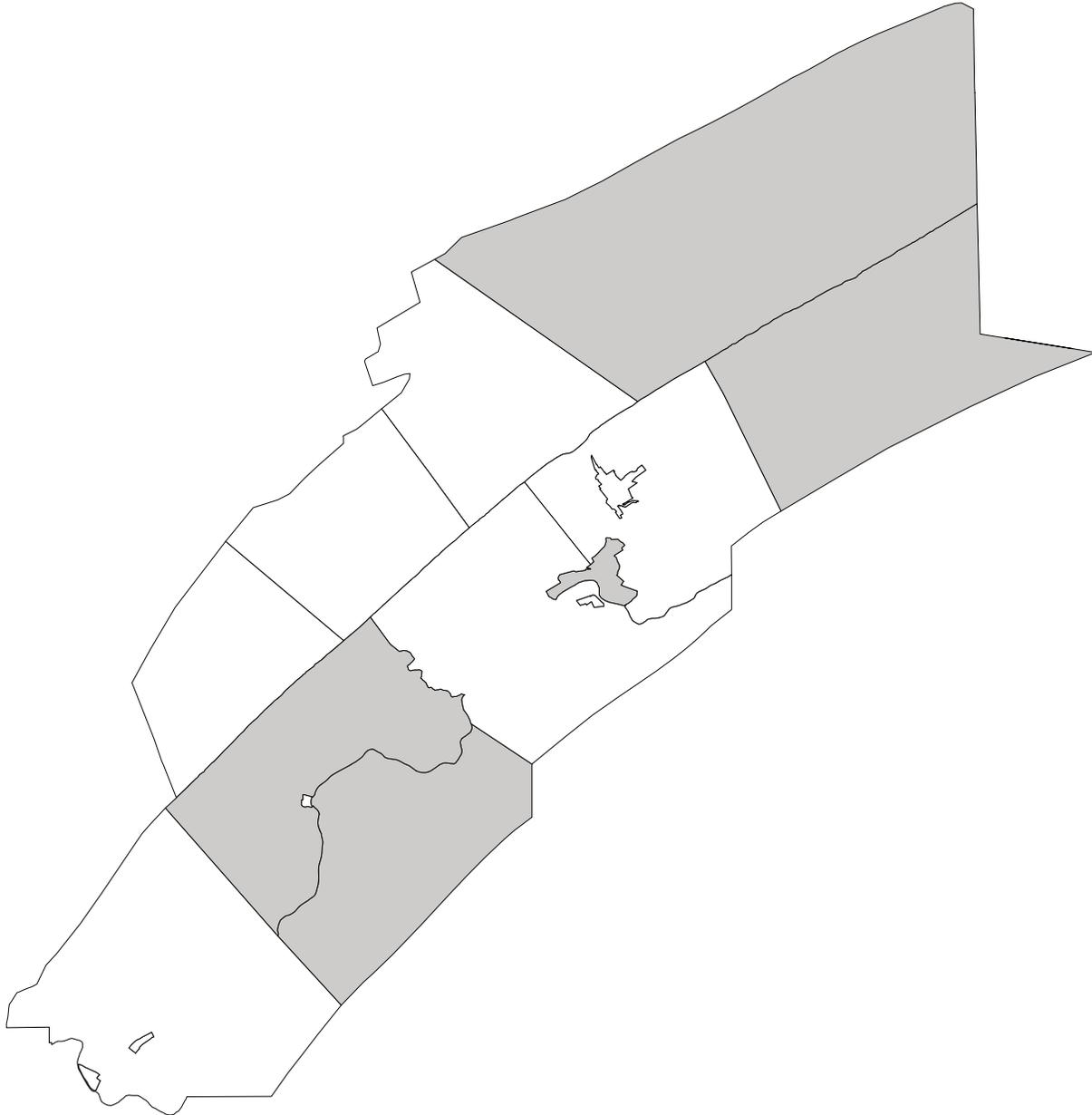
Clark Borough
– <i>Not Reported</i>
Deer Creek Township
– <i>Not Reported</i>
Delaware Township
– Electrical wiring or service upgrades in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Requires a building permit for residential utility and miscellaneous use structures with a building area larger than 500 sq. ft.
Fairview Township
– <i>Not Reported</i>
Farrell City
– <i>Not Reported</i>
Greene Township
– <i>Not Reported</i>
Jefferson Township
– <i>Not Reported</i>
New Lebanon Borough
– <i>Not Reported</i>
Otter Creek Township
– <i>Not Reported</i>
Perry Township
– <i>Not Reported</i>
Sharon City
– <i>Not Reported</i>
Shenango Township
– <i>Not Reported</i>
Sugar Grove Township
– <i>Not Reported</i>
West Middlesex Borough
– <i>Not Reported</i>
Wheatland Borough
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Mifflin County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

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Mifflin County

Table 1 of 1

Amendment Types

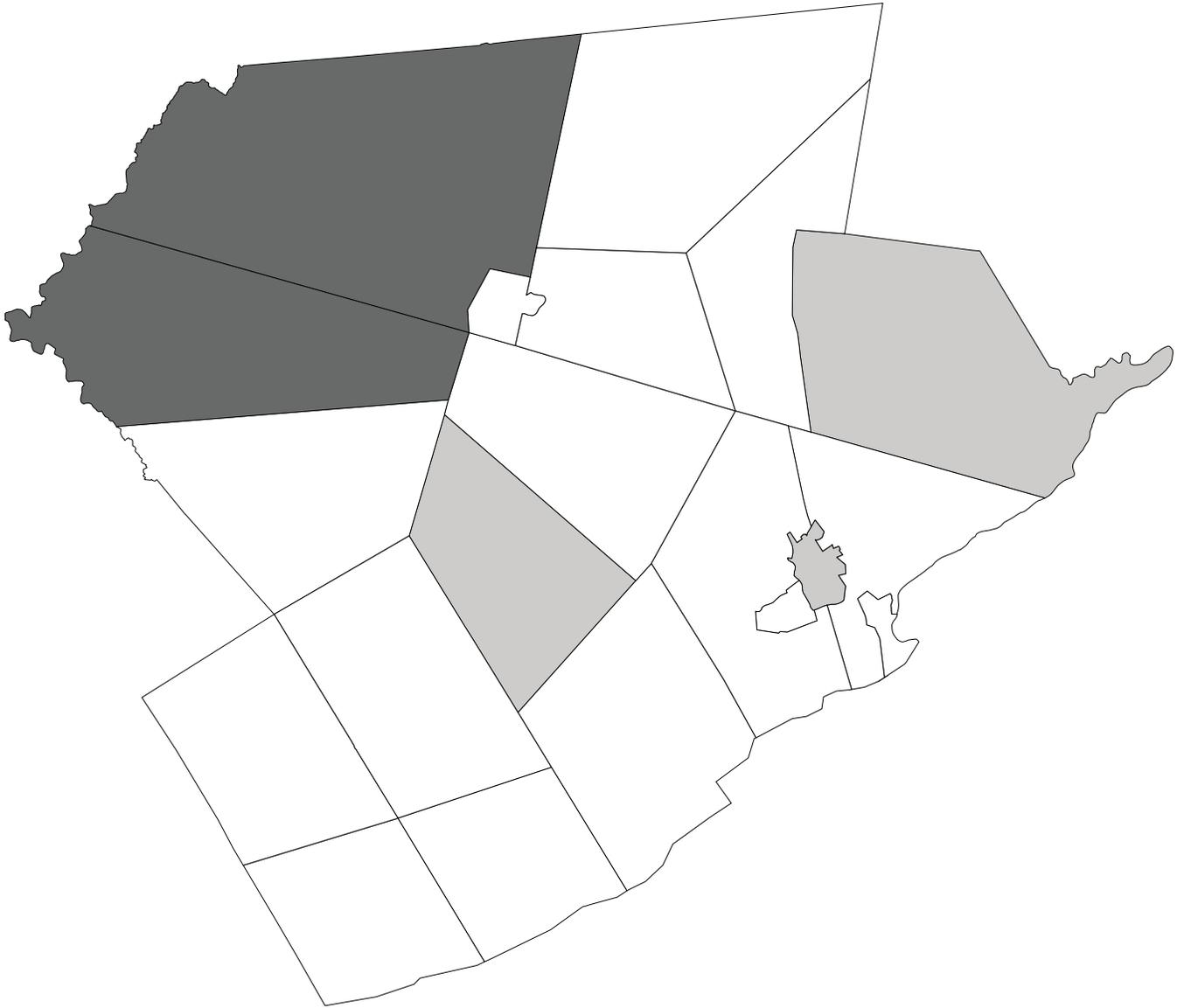
Armagh Township
– <i>Not Reported</i>
Bratton Township
– <i>Not Reported</i>
Decatur Township
– <i>Not Reported</i>
Lewistown Borough
<ul style="list-style-type: none"> – Some alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Adopted appendices to the International Fire Code – Property maintenance code
Oliver Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Monroe County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

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Monroe County

Table 1 of 1

Amendment Types

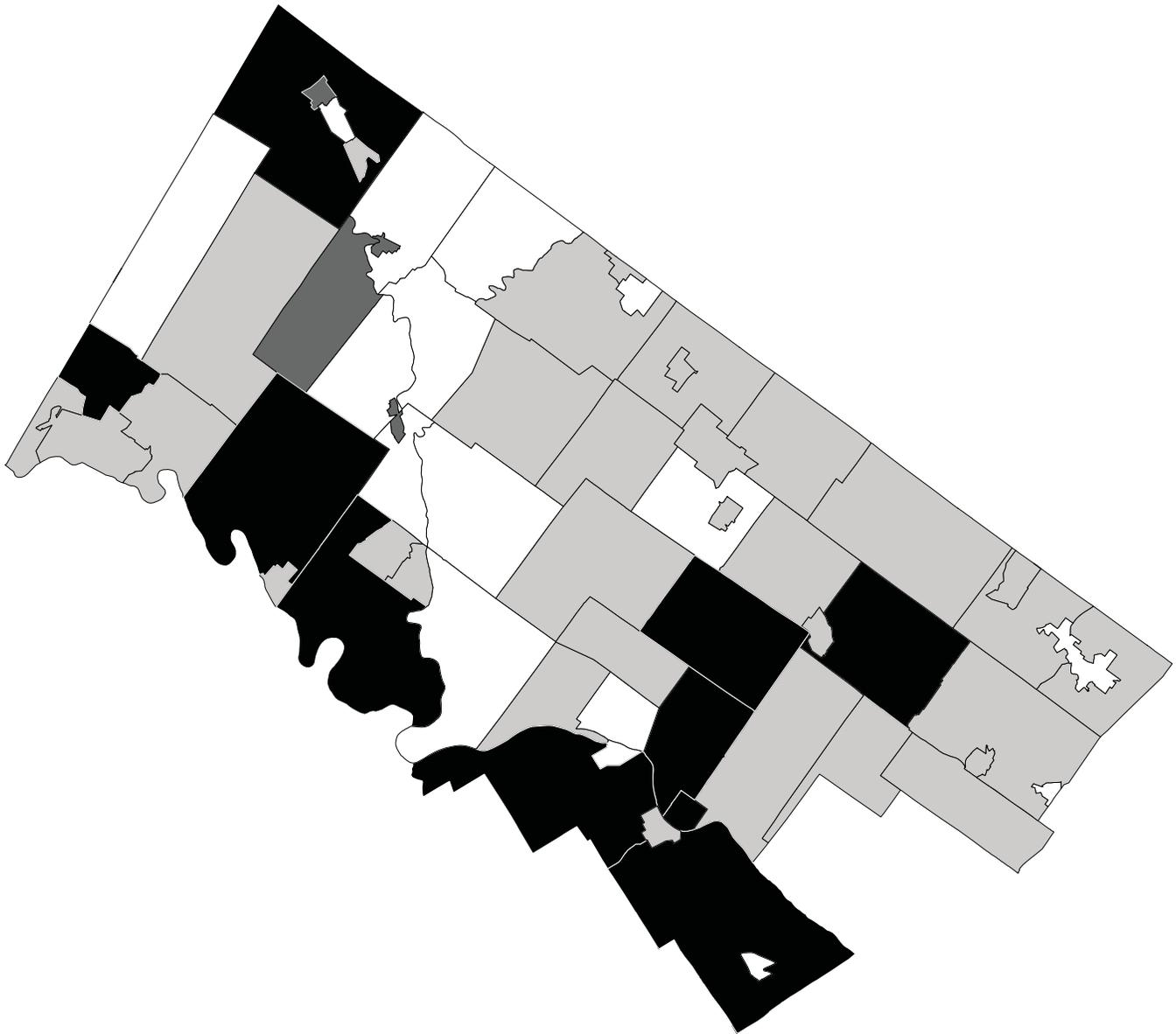
Coolbaugh Township
<ul style="list-style-type: none">– Requires a building permit for all residential alterations and most repairs.– Requires a building permit for all residential utility and miscellaneous use structures with a building area greater than 200 sq. ft.
East Stroudsburg Borough
<ul style="list-style-type: none">– Some alterations, renovations, remodeling, and repairs to existing residential structures
Jackson Township
<ul style="list-style-type: none">– <i>Not Reported</i>
Middle Smithfield Township
<ul style="list-style-type: none">– <i>Not Reported</i>
Tobyhanna Township
<ul style="list-style-type: none">– Requires a building permit for various residential alterations and repairs.– Requires a building permit for all residential utility and miscellaneous use structures with a building area greater than 200 sq. ft.– I-Fire Code: Adopt Appendices A, B, C, D, E, F, G, and amend sections 101.1 through 101.1.1 of Appendix B.

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Montgomery County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Montgomery County

Table 1 of 5

Amendment Types

Abington Township
<ul style="list-style-type: none"> - Re-roofing - Siding and/or replacement windows - Residential utility and miscellaneous use structures under 1,000 sq ft - Carbon monoxide detectors - Residential sprinklers
Ambler Borough
- <i>Not Reported</i>
Cheltenham Township
- <i>Not Reported</i>
Collegeville Borough
- <i>Not Reported</i>
Conshohocken Borough
<ul style="list-style-type: none"> - Requires a building permit for residential utility and miscellaneous use structures in excess of 200 sq. ft. - Reinstates a building permit requirement for residential alterations and repairs. - Requires a building permit application to be made for residential emergency repairs within one business day. - (Only first change requires L&I approval.)
East Greenville Borough
<ul style="list-style-type: none"> - Requires a building permit for all residential alterations and repairs, and establishes 44 exceptions. - Requires a building permit for all residential utility and miscellaneous use structures with a building area greater than 119 sq. ft.
East Norriton Township
- <i>Not Reported</i>
Franconia Township
- <i>Not Reported</i>
Green Lane Borough
- Restricts the sale of certain pyrotechnics and open burning, and establishes fines for violations of these restrictions.
Hatboro Borough
- <i>Not Reported</i>
Hatfield Borough
- <i>Not Reported</i>
Hatfield Township
- <i>Not Reported</i>
Horsham Township
- <i>Not Reported</i>
Jenkintown Borough
- <i>Not Reported</i>
Lansdale Borough

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Montgomery County

Table 2 of 5

Amendment Types

– <i>Not Reported</i>
Limerick Township
– Requires a building permit for all residential utility and miscellaneous use structures.
Lower Gwynedd Township
– <i>Not Reported</i>
Lower Merion Township
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Residential sprinklers – Adopted appendices to the International Fire Code – Adopted appendices of UCC codes (other than Fire Code) – Requires a building permit for residential utility and miscellaneous use structures with a building area of 200 sq. ft. or more. – Requires a building permit for the alteration and repair of all residential buildings.
Lower Moreland Township
– <i>Not Reported</i>
Lower Pottsgrove Township
– <i>Not Reported</i>
Lower Salford Township
– <i>Not Reported</i>
Montgomery Township
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Some alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Requirement in commercial structures for sprinkler systems based on size of structure
New Hanover Township
– <i>Not Reported</i>
North Wales Borough

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Montgomery County

Table 3 of 5

Amendment Types

<ul style="list-style-type: none"> - All alterations, renovations, remodeling, and repairs to existing residential structures - Some alterations, renovations, remodeling, and repairs to existing residential structures - Re-roofing - Siding and/or replacement windows - Electrical wiring or service upgrades in existing residential structures - New or replacement mechanical equipment in existing residential structures - New piping and/or new plumbing fixtures in existing residential structures - Residential utility and miscellaneous use structures under 1,000 sq ft - Carbon monoxide detectors - Residential sprinklers - Adopted appendices to the International Fire Code - Adopted appendices of UCC codes (other than Fire Code)
Plymouth Township
<ul style="list-style-type: none"> - Establishes installation and inspection requirements for small wind energy, geothermal heating/cooling and photovoltaic systems. - Other – Not Reported
Pottstown Borough
<ul style="list-style-type: none"> - <i>Not Reported</i>
Red Hill Borough
<ul style="list-style-type: none"> - <i>Not Reported</i>
Royersford Borough
<ul style="list-style-type: none"> - All alterations, renovations, remodeling, and repairs to existing residential structures - Re-roofing - Siding and/or replacement windows - Electrical wiring or service upgrades in existing residential structures - New or replacement mechanical equipment in existing residential structures - New piping and/or new plumbing fixtures in existing residential structures - Residential utility and miscellaneous use structures under 1,000 sq ft
Schwenksville Borough
Requires smoke alarms to be retrofitted in all residential dwellings and all other residential occupancies.
Springfield Township
<ul style="list-style-type: none"> - <i>Not Reported</i>
Telford Borough
<ul style="list-style-type: none"> - <i>Not Reported</i>
Towamencin Township
<ul style="list-style-type: none"> - <i>Not Reported</i>
Trappe Borough
<ul style="list-style-type: none"> - <i>Not Reported</i>
Upper Dublin Township

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Montgomery County

Table 4 of 5

Amendment Types

<ul style="list-style-type: none"> – Establishes additional code requirements for pools, spas and hot tubs, modifies application requirements for various permit applications and requires building permits for: residential utility and misc. use structures with a building area of 120 sq. ft. or more; all uncovered decks; and, all residential alterations and repairs. – Imposes a late fee not to exceed \$1,000.00, when plans are submitted after construction has begun. Makes changes to the UCC appeals board requirements: provides that board members must be Township residents and for voting and alternate member status. Revises provisions relative to use of alternative methods and materials.
Upper Frederick Township
<ul style="list-style-type: none"> – Exempts from a building permit all residential utility and miscellaneous use structures that are less than 200 sq. ft. and that have no utility service connections. – Requires a building permit for all residential utility and miscellaneous use structures that are 200 square feet or more. Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions.
Upper Hanover Township
<ul style="list-style-type: none"> – Requires the installation of key boxes (for emergency personnel access) in newly constructed commercial and multi-family residential buildings. – Requires the identification of truss systems used in residential subdivisions. – Exempts from a building permit all residential utility and miscellaneous use structures that are less than 200 sq. ft. and that will have no utility service connections. – Requires a building permit for all residential utility and miscellaneous use structures that are greater than 199 square feet. – Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions.
Upper Merion Township
<ul style="list-style-type: none"> – Residential sprinklers – Adopted appendices to the International Fire Code – Adopted appendices of UCC codes (other than Fire Code) – low exit signs, wall-hung plumbing fixtures, fire resource centers in high-rises, definition of "occupied" – I-Building Code: sections 202, 403.1, 907.9.9, 907.2.12.1 thru 907.2.12.6 and 1802. – I-Plumbing Code: section 1003. – I-Fire Code: sections 403, 506, 912 and Appendix D, section 103.
Upper Pottsgrove Township
<ul style="list-style-type: none"> – Exempts from a building permit all residential utility and miscellaneous use structures that are less than 200 sq. ft. and that have no utility service connections. – Requires a building permit for all residential utility and miscellaneous use structures that are 200 square feet or more. – Requires a building permit for all residential alterations and repairs, and establishes 9 exceptions.
Upper Moreland Township
<ul style="list-style-type: none"> – <i>Not Reported</i>

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Montgomery County

Table 5 of 5

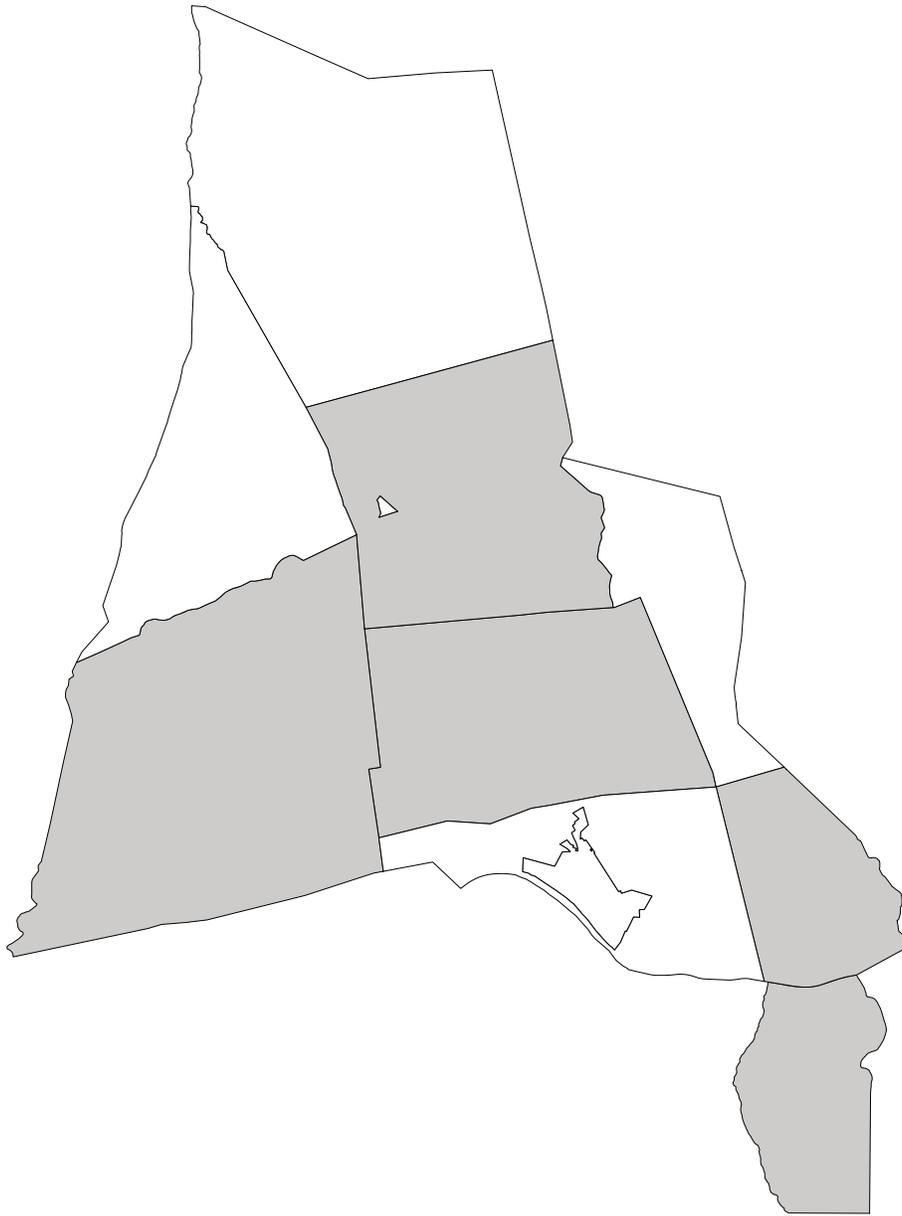
Amendment Types

Upper Pottsgrove Township
– <i>Not Reported</i>
Upper Providence Township
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Requires a building permit for residential alterations and repairs per section 105 of the I-Residential Code. – Requires a building permit for all residential utility and miscellaneous use structures larger than 200 sq. ft. – I-Fire Code: Amend section F-505 by requiring the identification of truss construction in certain buildings.
West Conshohocken Borough
– <i>Not Reported</i>
West Norriton Township
– <i>Not Reported</i>
West Pottsgrove Township
– <i>Not Reported</i>
Whitemarsh Township
– <i>Not Reported</i>
Whitpain Township
<ul style="list-style-type: none"> – New piping and/or new plumbing fixtures in existing residential structures – Adopted appendices of UCC codes (other than Fire Code) – Requires a building permit for all signs erected in the Township.
Worcester Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Montour County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Montour County

Table 1 of 1

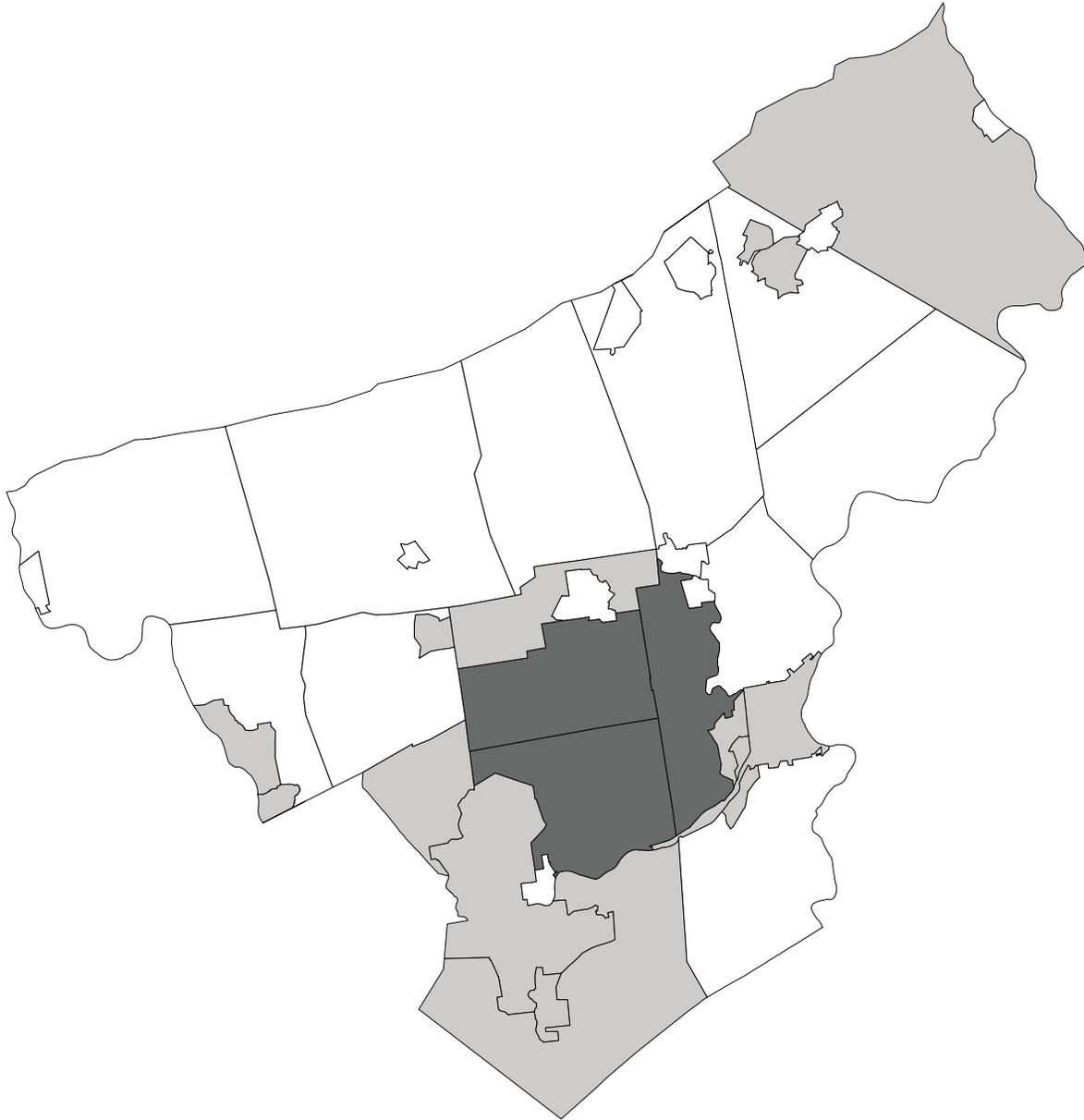
Amendment Types

Cooper Township
– <i>Not Reported</i>
Derry Township
– <i>Not Reported</i>
Liberty Township
– <i>Not Reported</i>
Mayberry Township
– <i>Not Reported</i>
Valley Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Northampton County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Northampton County

Table 1 of 2

Amendment Types

Bangor Borough
– <i>Not Reported</i>
Bath Borough
– <i>Not Reported</i>
Bethlehem City
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft
Bethlehem Township
– Adopts all requirements of the International Fire Code, including Appendices B through G. Establishes additional requirements for outdoor fireworks displays.
Easton City
– <i>Not Reported</i>
Glendon Borough
– <i>Not Reported</i>
Hanover Township
<ul style="list-style-type: none"> – Radon mitigation – All alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft
Hellertown Borough
– <i>Not Reported</i>
Lower Nazareth Township
– Requires a building permit for residential utility and miscellaneous use structures with a building area of more than 500 sq. ft.
Lower Saucon Township
– <i>Not Reported</i>
North Catasauqua Borough
– <i>Not Reported</i>
Northampton Borough
– <i>Not Reported</i>
Palmer Township
– Requires a building permit for all structural and non-structural changes to residential basements.
Roseto Borough

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Northampton County

Table 2 of 2

Amendment Types

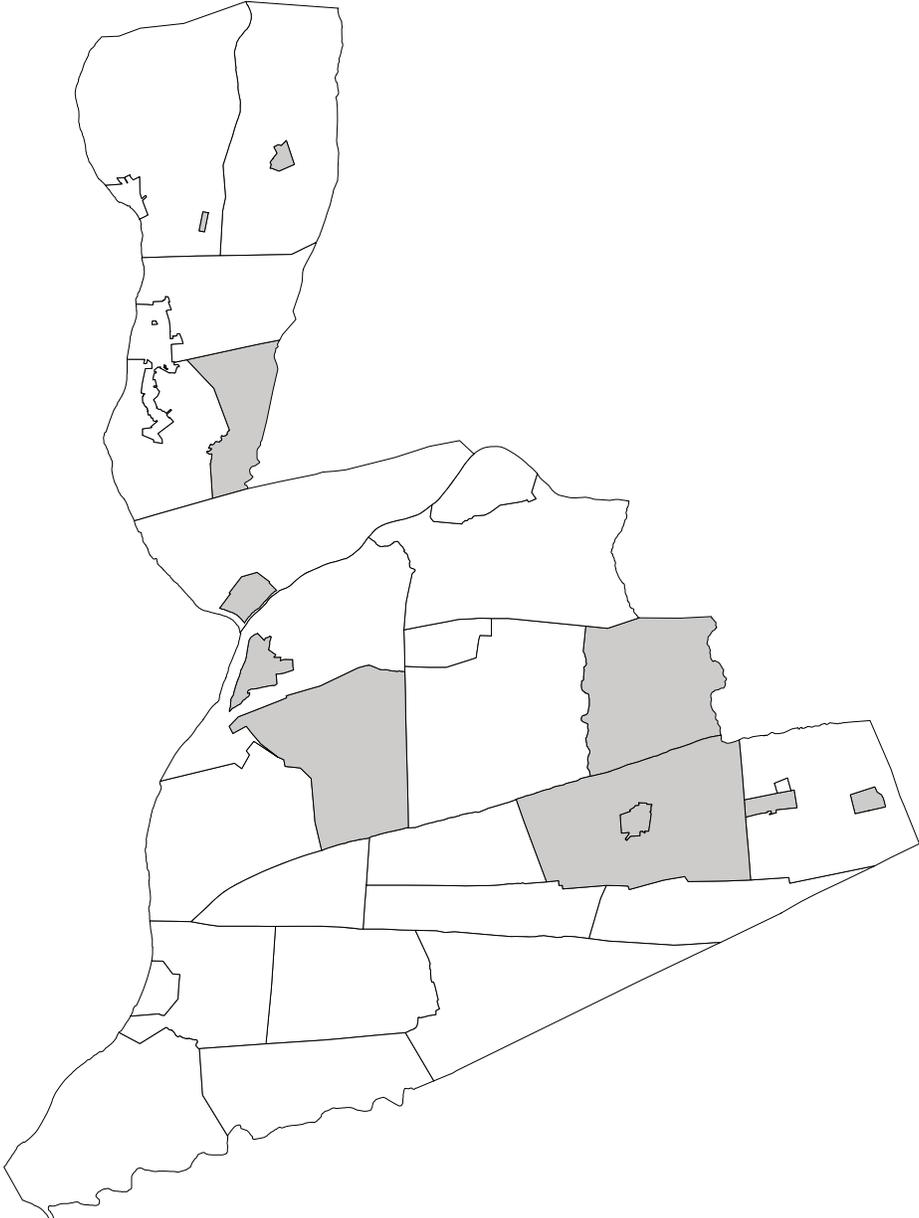
– <i>Not Reported</i>
Upper Mount Bethel Township
– <i>Not Reported</i>
Upper Nazareth Township
– <i>Not Reported</i>
West Easton Borough
– <i>Not Reported</i>
Wilson Borough
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Northumberland County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Northumberland County

Table 1 of 1

Amendment Types

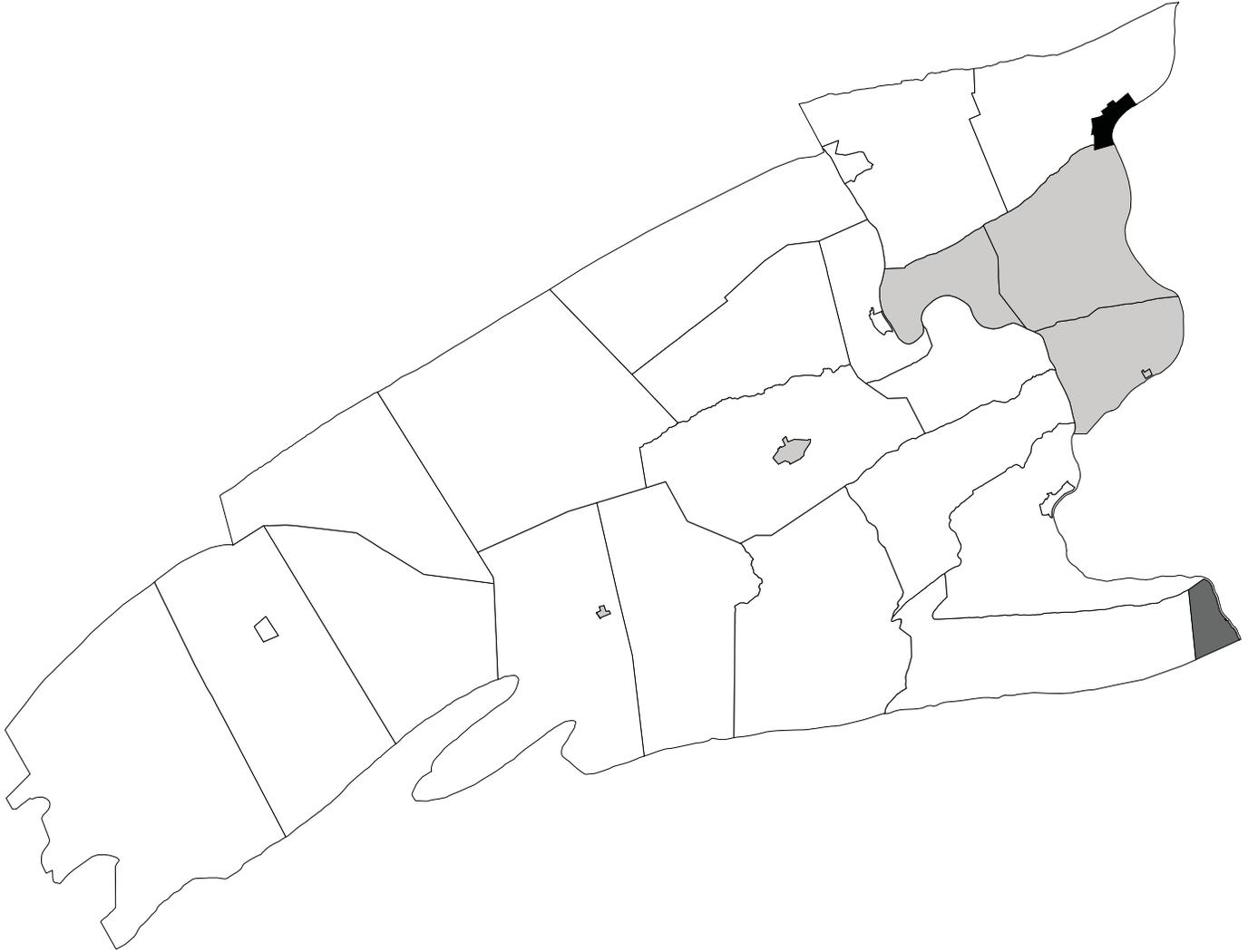
Coal Township
– <i>Not Reported</i>
East Chillisquaque Township
– <i>Not Reported</i>
Kulpmont Borough
– <i>Not Reported</i>
McEwensville Borough
– <i>Not Reported</i>
Mount Carmel Borough
– <i>Not Reported</i>
Northumberland Borough
– <i>Not Reported</i>
Ralpho Township
– <i>Not Reported</i>
Rockefeller Township
– <i>Not Reported</i>
Shamokin city
– <i>Not Reported</i>
Sunbury City
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft
Turbotville Borough
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Perry County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Perry County

Table 1 of 1

Amendment Types

Bloomfield Borough
– <i>Not Reported</i>
Buffalo Township
– <i>Not Reported</i>
Howe Township
– <i>Not Reported</i>
Landisburg Borough
– <i>Not Reported</i>
Liverpool Borough
– Residential utility and miscellaneous use structures under 1,000 sq ft
– Requires a building permit for residential utility and miscellaneous use structures exceeding 199 sq. ft.
Marysville Borough
– Requires a building permit for garages, carports, greenhouses and sheds that are accessory to a single family home and are larger than 200 sq. ft.
– Requires a building permit for all residential alterations and repairs unless exempted from permit requirements by the I-Residential Code (section R105).
New Buffalo Borough
– <i>Not Reported</i>
Watts Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Philadelphia County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Philadelphia County

Table 1 of 1

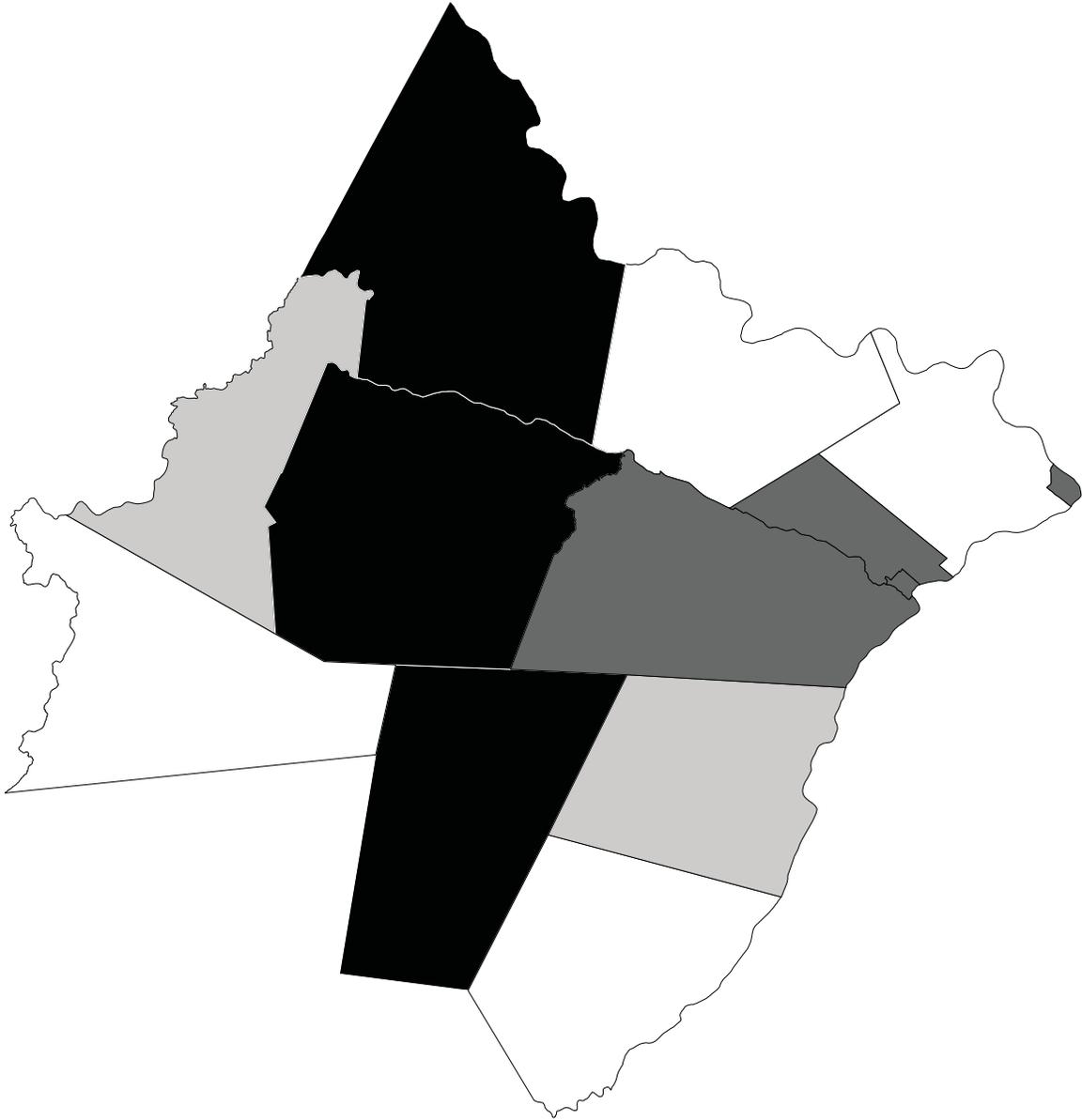
Amendment Types

Philadelphia City
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Pike County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Pike County

Table 1 of 1

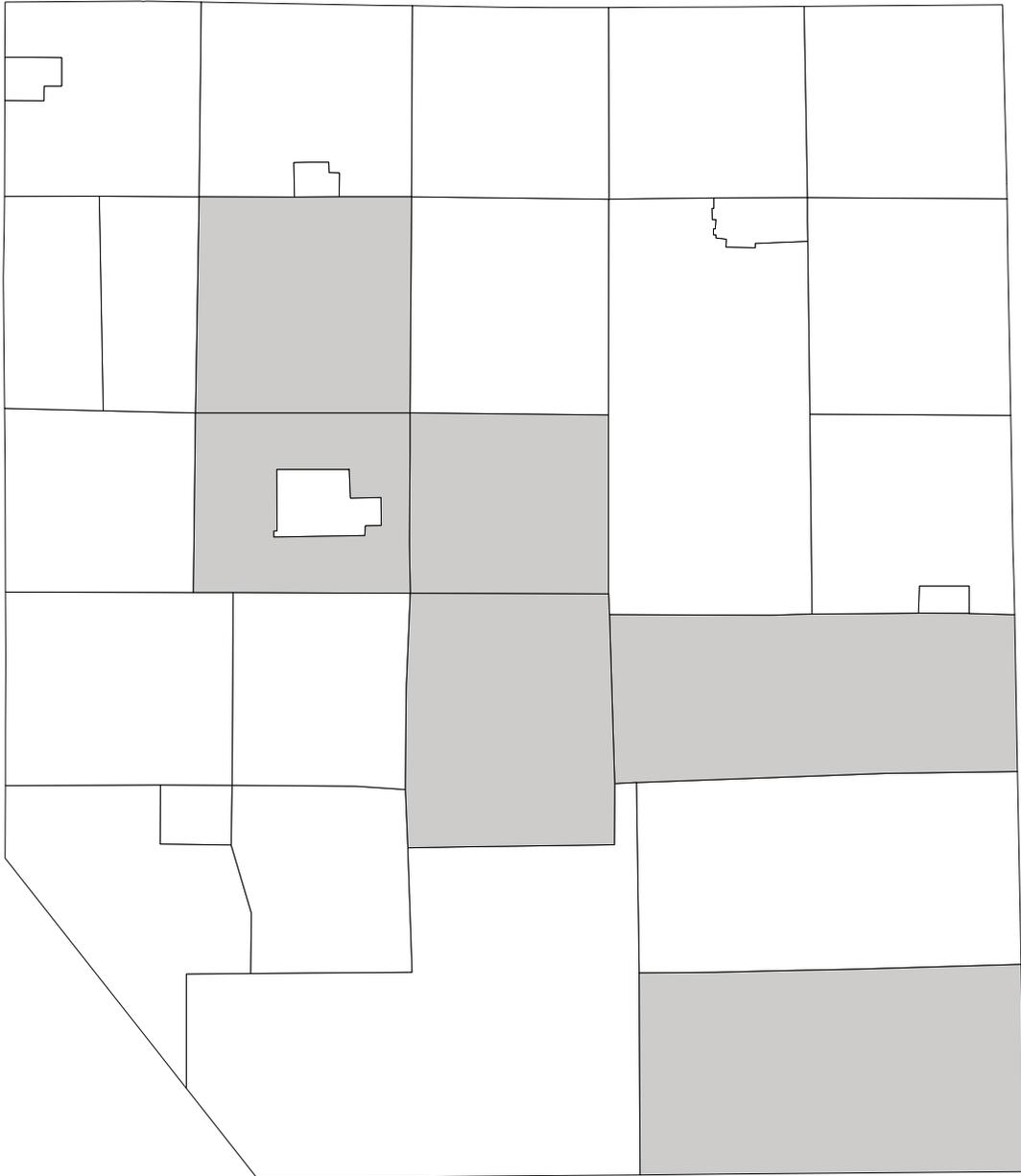
Amendment Types

Blooming Grove Township
<ul style="list-style-type: none"> – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 250 sq. ft. or more.
Delaware Township
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft
Dingman Township
<ul style="list-style-type: none"> – Requires a building permit for residential utility and miscellaneous use structures with a building area larger than 200 sq. ft.
Lackawaxen Township
<ul style="list-style-type: none"> – Some alterations, renovations, remodeling, and repairs to existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Requires a building permit for finishing residential basements, converting rooms to bedrooms and conversion of any non-habitable space to a habitable space. – Requires a building permit for decks attached to dwelling units. – Seeks to reinstitute a requirement for the installation of hard-wired smoke detectors when residential dwellings are altered or added on to. – Requires a building permit for all residential utility and miscellaneous use structures of 100 sq. ft. or more. – Ordinance revision: residential utility and miscellaneous structures of 400 sq. ft. or more require a building permit.
Matamoras Borough
<ul style="list-style-type: none"> – Requires a building permit for garages, carports, greenhouses and sheds that are accessory to a single family home and are larger than 200 sq. ft.
Milford Borough
<ul style="list-style-type: none"> – Requires a building permit for conversion of a residential basement (or other non-habitable area) to a habitable space. Requires a building permit for all attached decks and decks associated with swimming pools. Requires a building permit for all residential utility and miscellaneous use structures with a building area of 200 square feet or more.
Milford Township
<ul style="list-style-type: none"> – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 200 sq. ft. or more.
Palmyra Township
<ul style="list-style-type: none"> – <i>Not Reported</i>
Porter Township
<ul style="list-style-type: none"> – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 300 sq. ft or more.

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Potter County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Potter County

Table 1 of 1

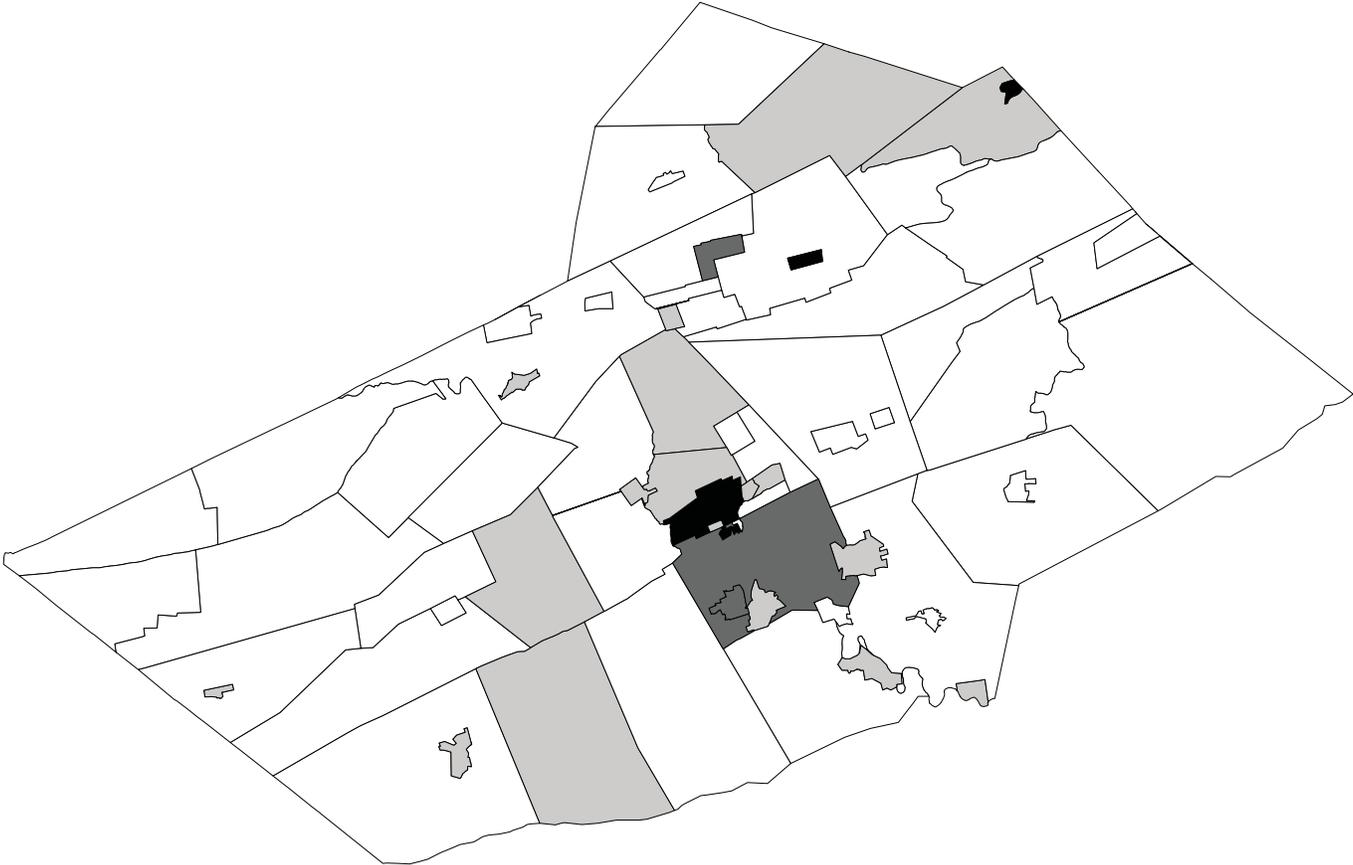
Amendment Types

Eulalia Township
– <i>Not Reported</i>
Galeton Borough
– <i>Not Reported</i>
Genesee Township
– <i>Not Reported</i>
Hebron Township
– <i>Not Reported</i>
Stewardson Township
– <i>Not Reported</i>
Summit Township
– <i>Not Reported</i>
Sweden Township
– <i>Not Reported</i>
West Branch Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Schuylkill County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Schuylkill County

Table 1 of 2

Amendment Types

Auburn Borough
– <i>Not Reported</i>
Cressona Borough
– Establishes requirements for outdoor furnaces constructed to supply heat to buildings, swimming pools and saunas.
East Union Township
– <i>Not Reported</i>
Frackville Borough
– <i>Not Reported</i>
Gordon Borough
– <i>Not Reported</i>
Kline Township
– <i>Not Reported</i>
Mahanoy City Borough
– Requires a building permit for all residential utility and miscellaneous use structures with a building area of 200 sq. ft. or more and for those with a lesser building area that are served by a utility.
– Requires that all new residential buildings comply with Appendix F (Radon Control Methods) of the International Residential Code 2009 or its successor codes.
– Requires a building permit for all residential alterations and repairs and establishes a number of exceptions.
Mcadoo Borough
– <i>Not Reported</i>
Mechanicsville Borough
– <i>Not Reported</i>
Minersville Borough
– All alterations, renovations, remodeling, and repairs to existing residential structures
– Re-roofing
– Siding and/or replacement windows
– Electrical wiring or service upgrades in existing residential structures
– New or replacement mechanical equipment in existing residential structures
– New piping and/or new plumbing fixtures in existing residential structures
– Residential utility and miscellaneous use structures under 1,000 sq ft
– Carbon monoxide detectors
New Castle Township
– <i>Not Reported</i>
North Manheim Borough
– Establishes requirements for exterior furnace installations.
– Establishes requirements for connections of existing residential buildings to a public water system and requiring permits for connections to a public water system.
Norwegian Township
– <i>Not Reported</i>
Orwigsburg Borough

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Schuylkill County

Table 2 of 2

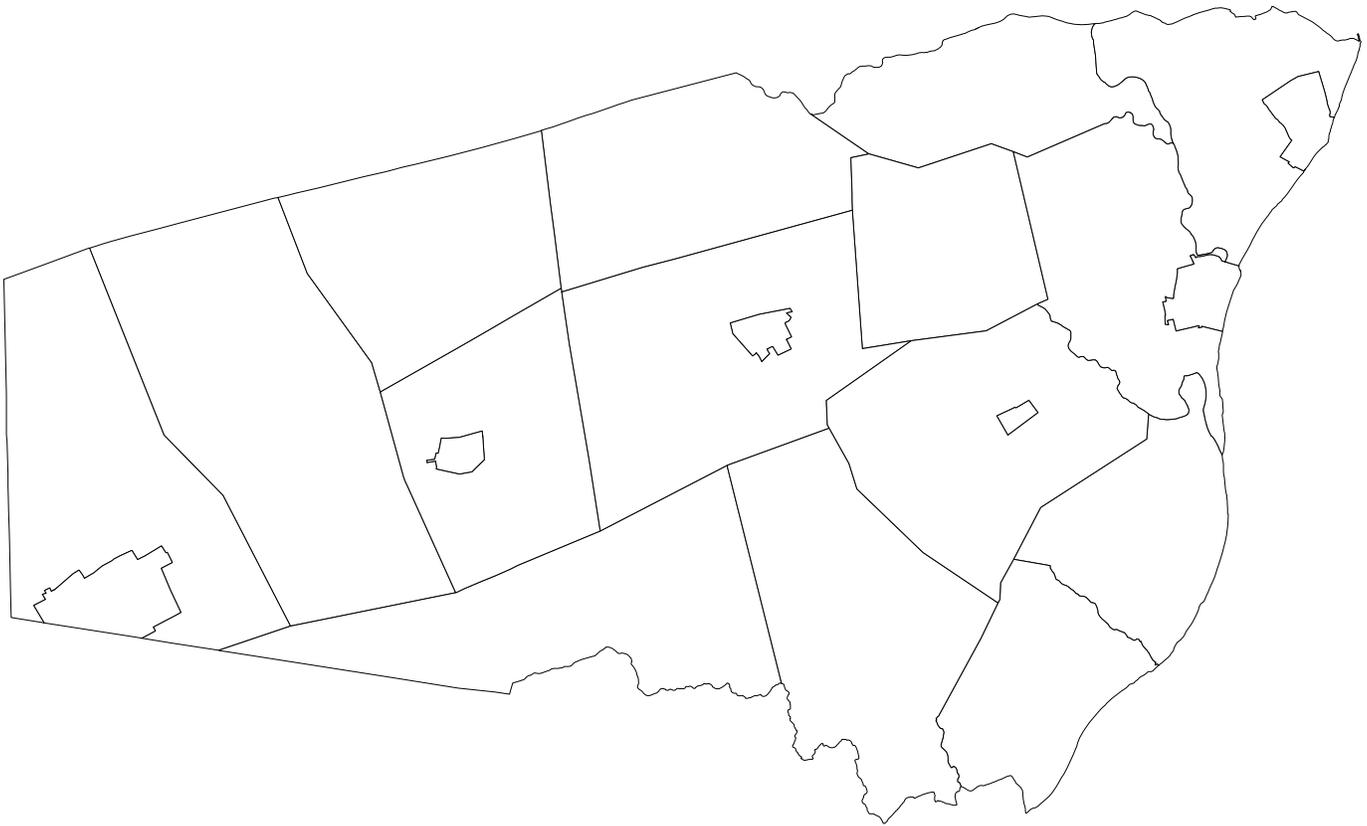
Amendment Types

– International Property Maintenance Code
Pine Grove Borough
– <i>Not Reported</i>
Port Carbon Borough
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – Adopted appendices to the International Fire Code
Port Clinton Borough
– <i>Not Reported</i>
Pottsville City
<ul style="list-style-type: none"> – Some alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Carbon monoxide detectors – Adopted appendices to the International Fire Code – Adopted appendices of UCC codes (other than Fire Code) – Requires a building permit for residential alterations and repairs not involving structural change or a change in a means of egress and establishes a number of exceptions. – Requires a building permit for all residential utility and miscellaneous use structures with a building area greater than 120 sq. ft.
Reilly Township
– <i>Not Reported</i>
Schuylkill Haven Borough
– <i>Not Reported</i>
Shenandoah Borough
<ul style="list-style-type: none"> – Requires a building permit for all residential utility and miscellaneous use structures with a building area of 200 sq. ft. or more and for those with a lesser building area that are served by a utility. – Requires that all new residential buildings comply with Appendix F (Radon Control Methods) of the International Residential Code 2009 or its successor codes. – Requires a building permit for all residential alterations and repairs and establishes a number of exceptions.
Tower City Borough
– <i>Not Reported</i>
Washington Township
– <i>Not Reported</i>

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry. *Not Reported* indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Snyder County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

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Snyder County

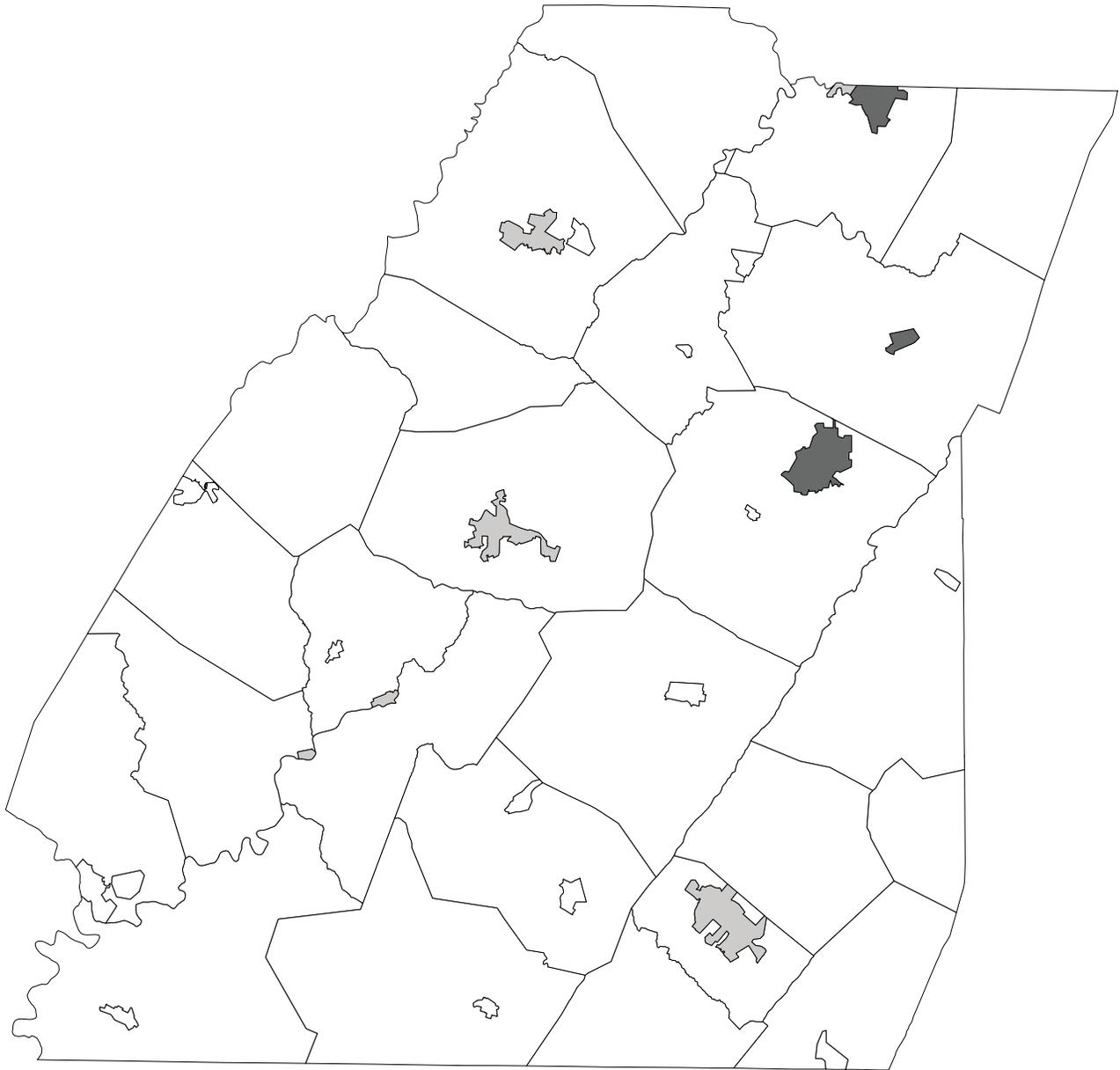
Table 1 of 1

Amendment Types

- There are no amendments on record in Cameron County.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Somerset County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Somerset County

Table 1 of 1

Amendment Types

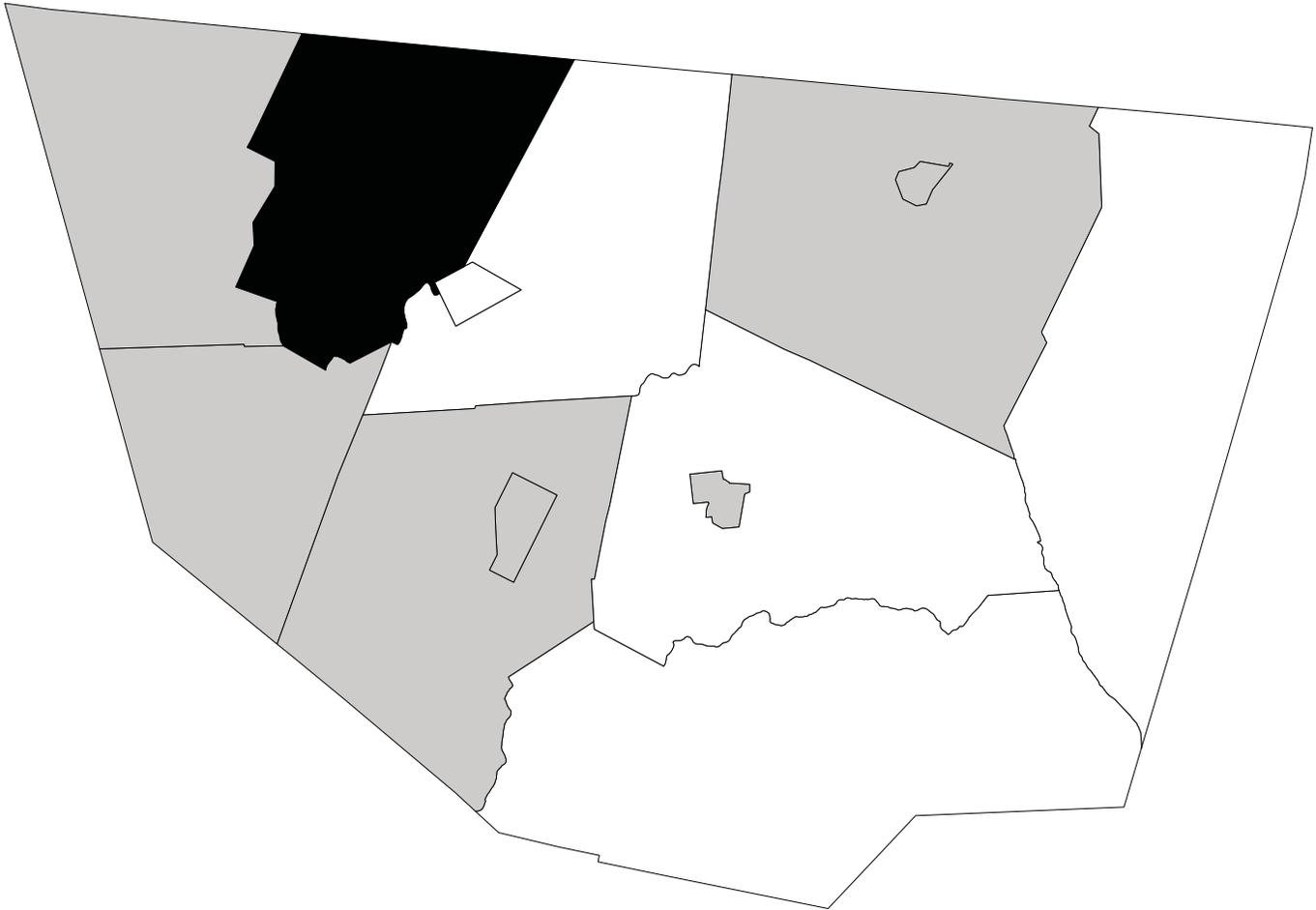
Callimont Borough
<ul style="list-style-type: none"> - Some alterations, renovations, remodeling, and repairs to existing residential structures - Adopted appendices to the International Fire Code - Adopted appendices of UCC codes (other than Fire Code)
Casselman Borough
<ul style="list-style-type: none"> - Some alterations, renovations, remodeling, and repairs to existing residential structures - Adopted appendices to the International Fire Code - Adopted appendices of UCC codes (other than Fire Code)
Central City Borough
<ul style="list-style-type: none"> - Requires a building permit for all residential utility and miscellaneous use structures with a building area greater than 199 sq. ft. - Requires a building permit for all residential decks that are supported by another structure. - Requires building permit for all residential alterations and repairs, except for the work excluded in section 403.62 of the UCC regulation as published in the Pennsylvania Bulletin on 1/10/04.
Indian Lake Borough
<ul style="list-style-type: none"> - Adopts the requirements of 35 P.S. § 7210.902 (b) for enforcement of UCC in all uncertified buildings.
Jennerstown Borough
<ul style="list-style-type: none"> - Some alterations, renovations, remodeling, and repairs to existing residential structures - Adopted appendices to the International Fire Code - Adopted appendices of UCC codes (other than Fire Code)
Paint Borough
<ul style="list-style-type: none"> - <i>Not Reported</i>
Rockwood Borough
<ul style="list-style-type: none"> - Some alterations, renovations, remodeling, and repairs to existing residential structures - Adopted appendices to the International Fire Code - Adopted appendices of UCC codes (other than Fire Code)
Somerset Borough
<ul style="list-style-type: none"> - <i>Not Reported</i>
Windber Borough
<ul style="list-style-type: none"> - Requires a building permit for all residential utility and miscellaneous use structures that are greater than 200 sq. ft. - Requires a building permit for residential utility and miscellaneous use structures that are 200 sq. ft or less and that have utility service connections. - Requires a building permit for re-siding residential dwellings and garages and all commercial buildings. Requires all fire standpipe systems to be fitted with 4" Storz connectors or equivalent connectors. - Limits the validity of a demolition permit to 30 days (with the possibility of one 15-day extension).

Municipalities listed above have amendments recorded with the PA Department of Labor and Industry.

Not Reported indicates that the municipality has enforceable amendments, but details of the amendments were not available for this report.

This information is believed to be accurate, but permit applicants should always check with the designated municipal Building Code Official.

Sullivan County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

This information is believed to be accurate, but permit applicants should always check with the designated with the Building Code Official in the municipality of the project location.

Sullivan County

Table 1 of 1

Amendment Types

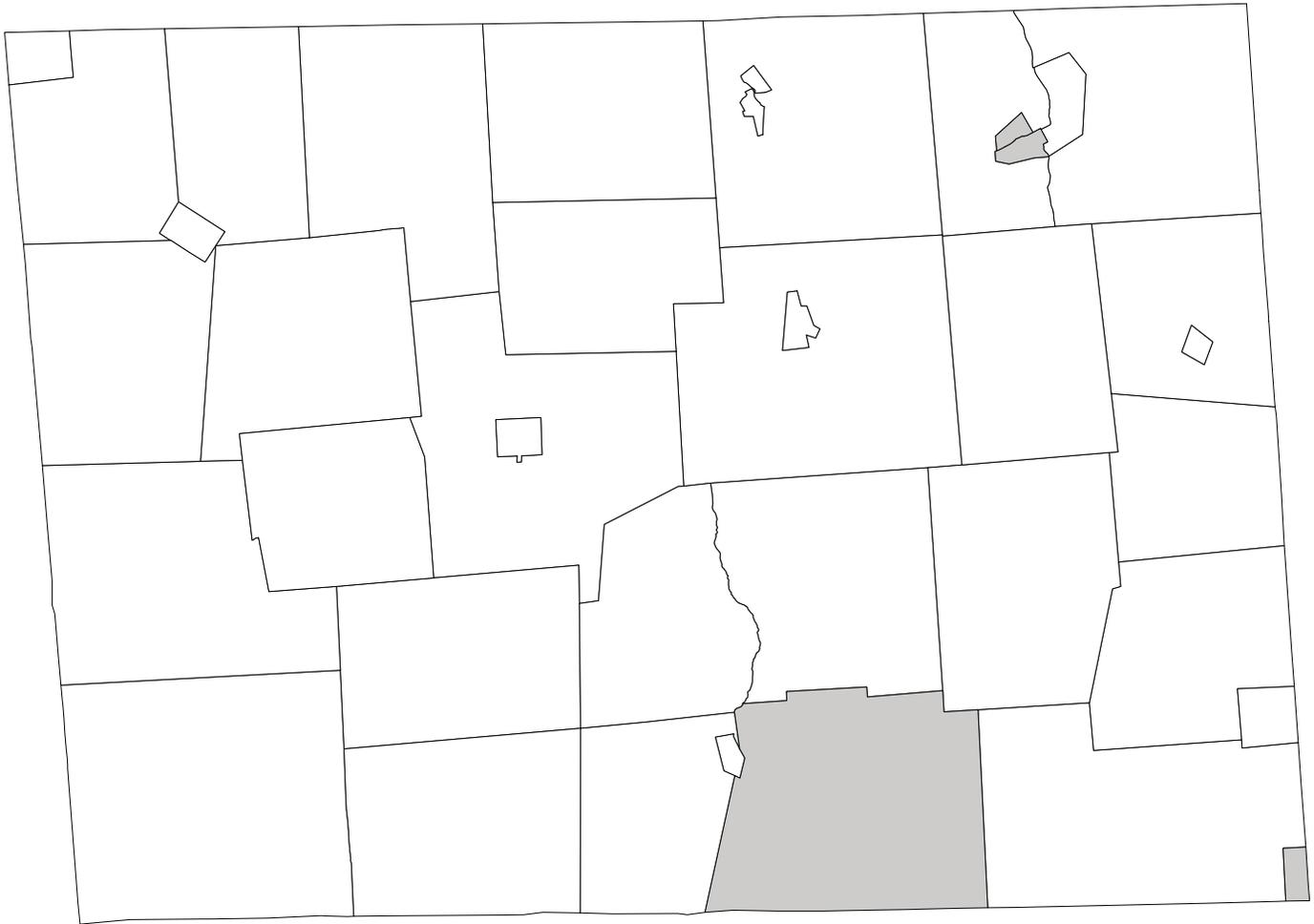
Cherry Township
– <i>Not Reported</i>
Dushore Borough
– <i>Not Reported</i>
Eagles Mere Borough
– <i>Not Reported</i>
Elkland Township
– Requires a building permit for all residential utility and miscellaneous use structures with a building area greater than 500 sq. ft.
Fox Township
– <i>Not Reported</i>
Hillsgrove Township
– <i>Not Reported</i>
Laporte Borough
– <i>Not Reported</i>
Shrewsbury Township
– <i>Not Reported</i>

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Susquehanna County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Susquehanna County

Table 1 of 1

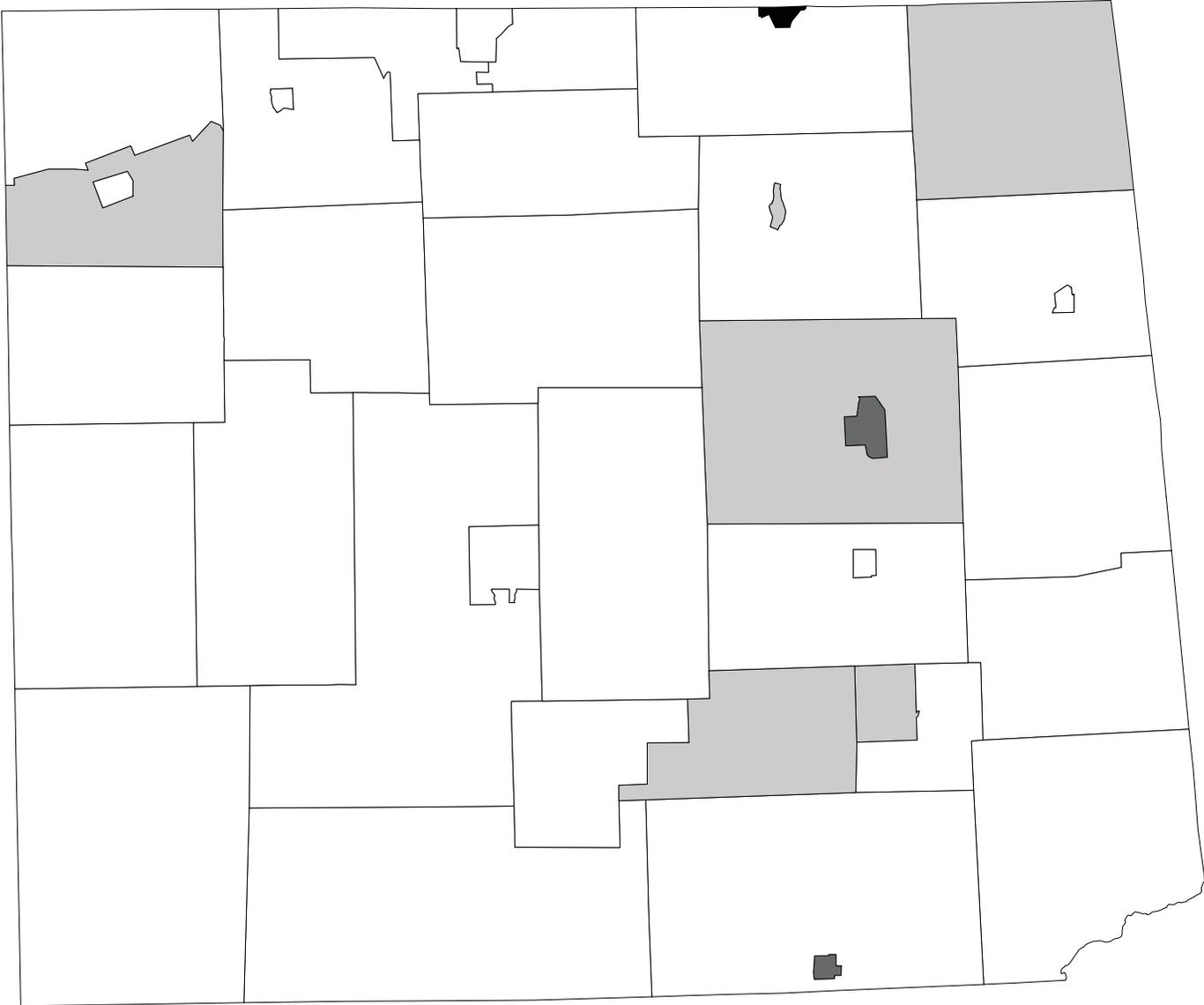
Amendment Types

Forest City Borough	
	– Not Reported
Lenox Township	
	– Not Reported
Oakland Borough	
	– Not Reported
Susquehanna Depot Borough	
	– Not Reported

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Tioga County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

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Tioga County

Table 1 of 1

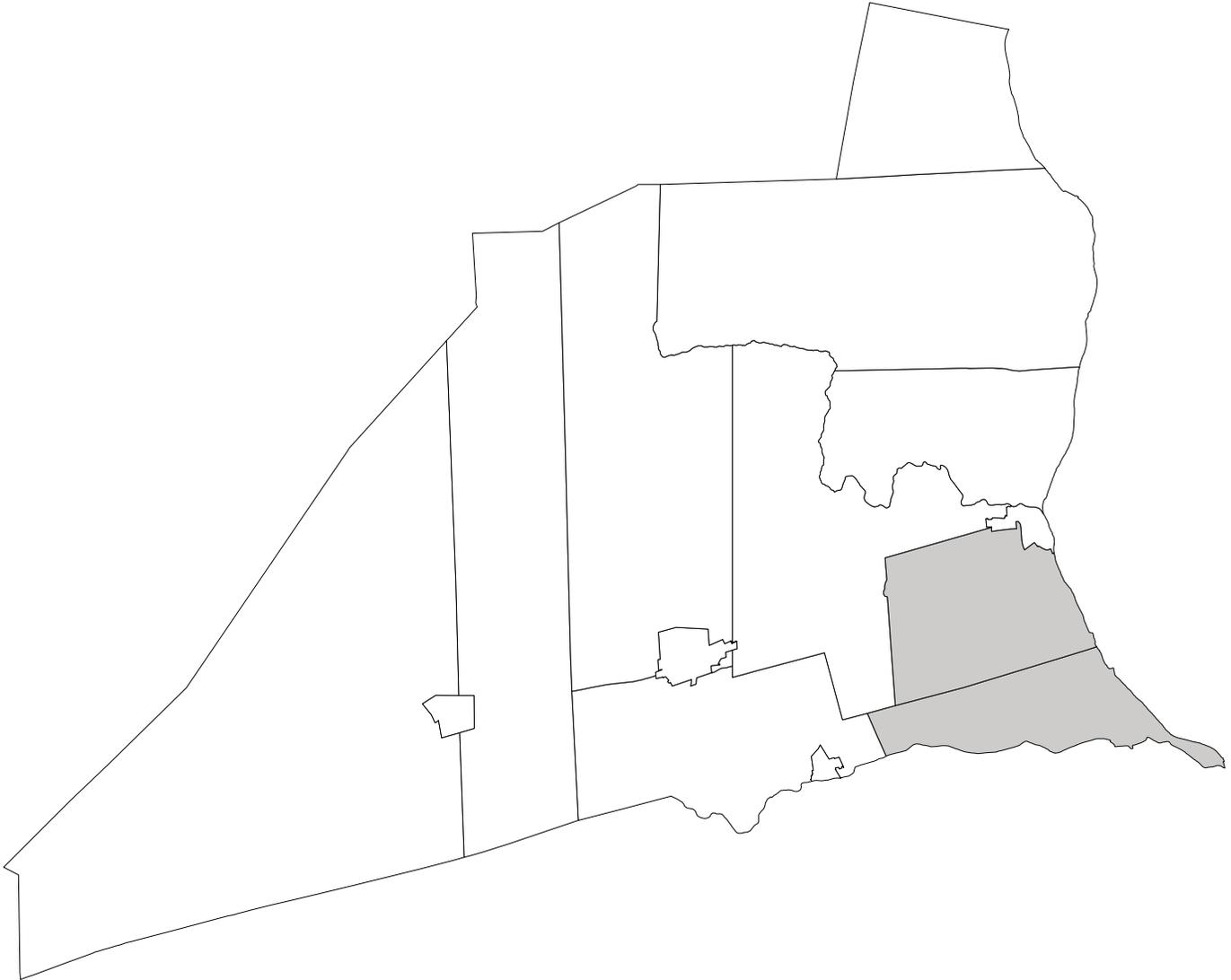
Amendment Types

Bloss Township
– <i>Not Reported</i>
Blossburg Borough
– <i>Not Reported</i>
Covington Township
– <i>Not Reported</i>
Jackson Township
– <i>Not Reported</i>
Lawrenceville Borough
– Requires a building permit for all residential utility and miscellaneous use structures with a building area of more than 256 sq. ft.
Liberty Borough
– Requires a building permit for all residential utility and miscellaneous use structures with a building area of more than 400 sq. ft.
Mansfield Borough
– Requires a building permit for garages, carports, greenhouses and sheds that are accessory to a single family home and are larger than 200 sq. ft.
Richmond Township
– <i>Not Reported</i>
Tioga Borough
– <i>Not Reported</i>
Westfield Township
– <i>Not Reported</i>

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Union County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Union County

Table 1 of 1

Amendment Types

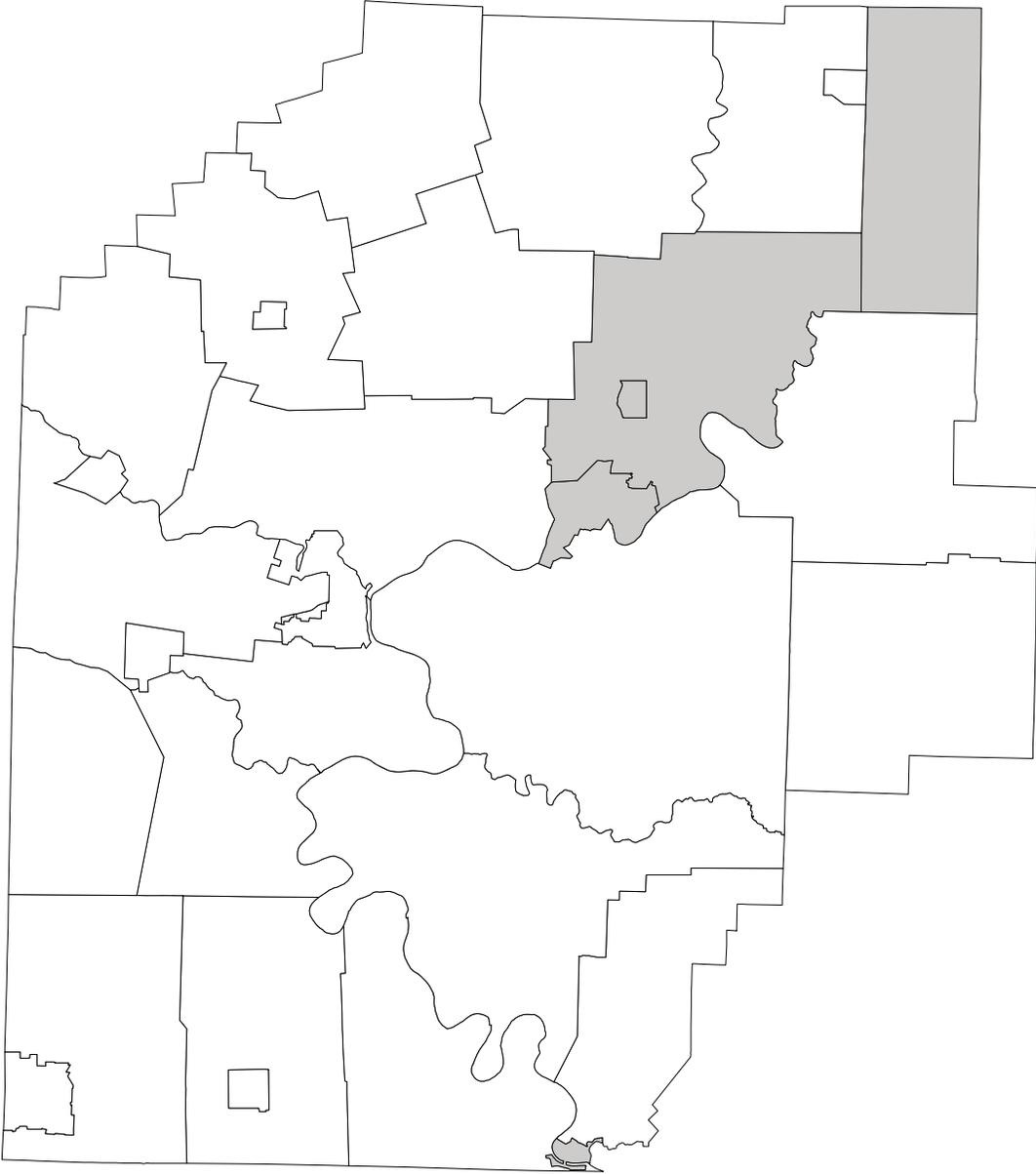
East Buffalo Township
– <i>Not Reported</i>
Union Township
– <i>Not Reported</i>

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Venango County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

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Venango County

Table 1 of 1

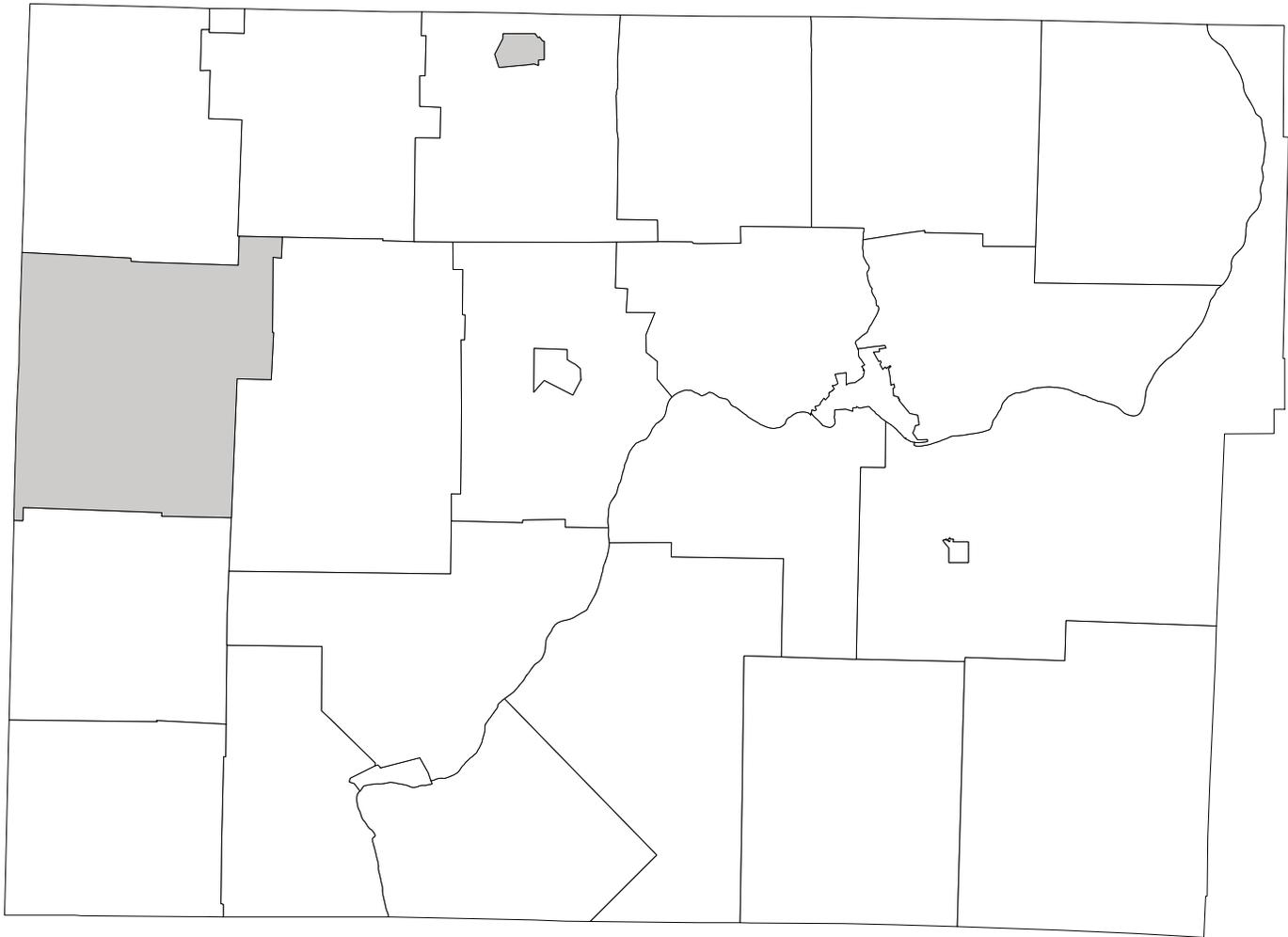
Amendment Types

Allegheny Township
– <i>Not Reported</i>
Cornplanter Township
– Some alterations, renovations, remodeling, and repairs to existing residential structures – Adopted appendices to the International Fire Code – Adopted appendices of UCC codes (other than Fire Code)
Emlenton Borough
– Some alterations, renovations, remodeling, and repairs to existing residential structures – Adopted appendices to the International Fire Code – Adopted appendices of UCC codes (other than Fire Code)
Oil City
– <i>Not Reported</i>
Rouseville Borough
– Some alterations, renovations, remodeling, and repairs to existing residential structures – Adopted appendices to the International Fire Code – Adopted appendices of UCC codes (other than Fire Code)

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Warren County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Warren County

Table 1 of 1

Amendment Types

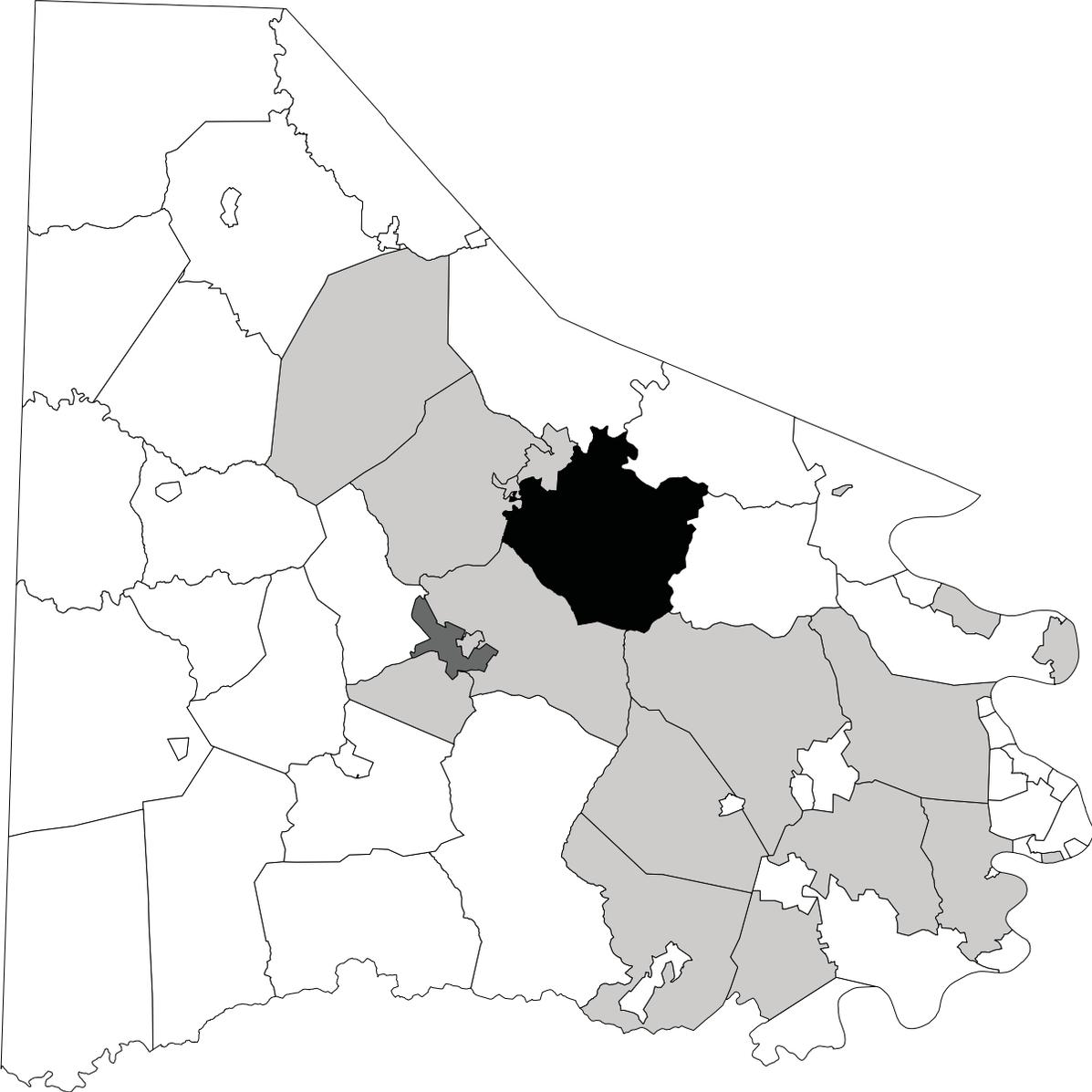
Spring Creek Township
– <i>Not Reported</i>
Sugar Grove Borough
– <i>Not Reported</i>

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Washington County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

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Washington County

Table 1 of 2

Amendment Types

California Borough
– <i>Not Reported</i>
Canonsburg Borough
– <i>Not Reported</i>
Chartiers Township
– <i>Not Reported</i>
Deemston Borough
– <i>Not Reported</i>
Donora Borough
– Require permits for Act 45 - Comm - Section 403.42 (C)(1): (i) (iii) (iv) (v) (xi) (xiii), (C)(4): (iv) (v), (C)(5): (i) (ii), Res - 403.62 (C)(1): (i) (ii) (iv) (viii) (x) (xi) (xiii) (xiv) (xvi) (xvii), (C)(5): (iv) (ix)
East Washington Borough
– <i>Not Reported</i>
Fallowfield Township
– <i>Not Reported</i>
Finleyville Borough
– <i>Not Reported</i>
Houston Borough
– <i>Not Reported</i>
Monongahela City
– <i>Not Reported</i>
Mount Pleasant Township
– <i>Not Reported</i>
North Bethlehem Township
– <i>Not Reported</i>
North Franklin Township
– <i>Not Reported</i>
North Strabane Township
<ul style="list-style-type: none"> – Residential utility and miscellaneous use structures under 1,000 sq ft – Residential sprinklers – Requires a building permit for all structures in excess of 500 sq. ft. – Requires installation of hard-wired smoke detectors when residential alterations, repairs or additions are made.
Peters Township
<ul style="list-style-type: none"> – Radon mitigation – Residential utility and miscellaneous use structures under 1,000 sq ft – residential sprinklers for multifamily structures
Roscoe Borough
– <i>Not Reported</i>
Somerset Township
– <i>Not Reported</i>

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Washington County

Table 2 of 2

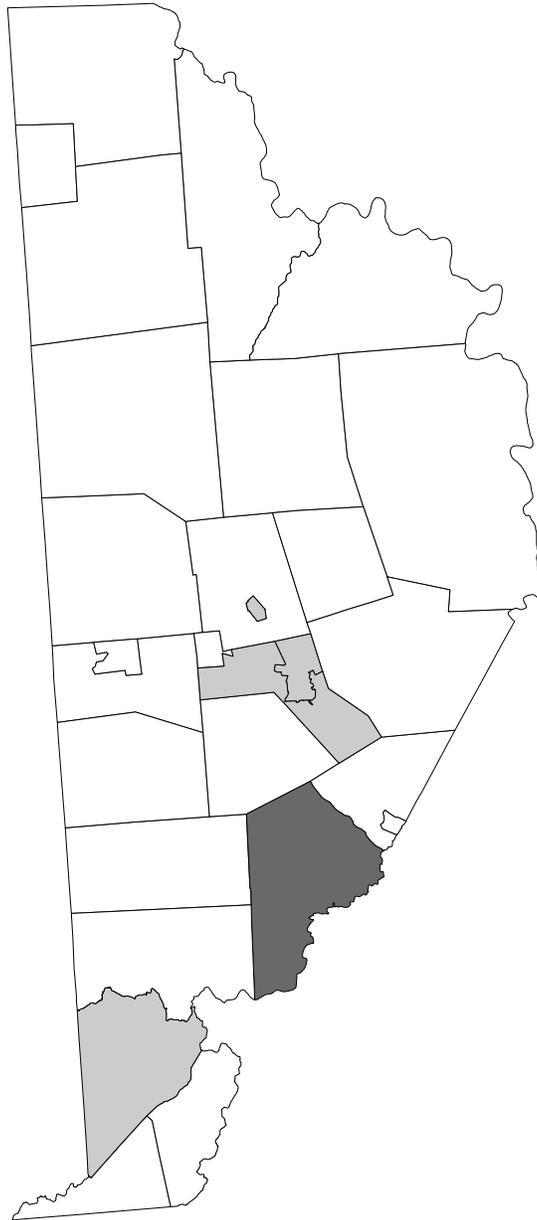
Amendment Types

South Strabane Township
– <i>Not Reported</i>
Washington City
– Limits work exempted from UCC permit requirements to the exceptions detailed in Chapter 1 of the International Building Code and the International Residential Code. – Requires sprinklers in all two-family dwellings and in all structures housing two or more dwelling units occupied by persons who are primarily not transient in nature.
West Bethlehem Township
– <i>Not Reported</i>
West Pike Run Township
– <i>Not Reported</i>

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Wayne County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Wayne County

Table 1 of 1

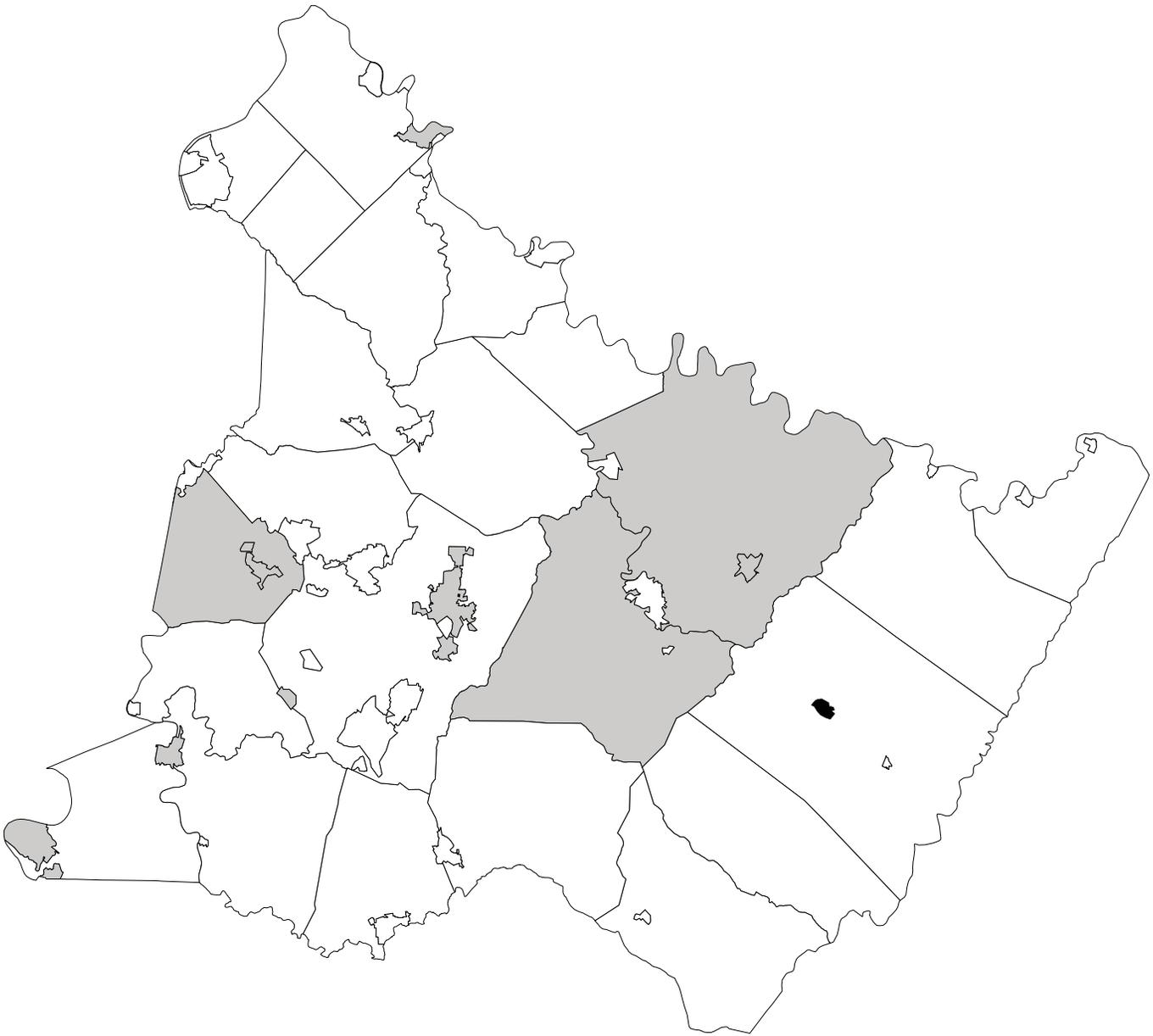
Amendment Types

Bethany Borough
– <i>Not Reported</i>
Honesdale Borough
– Re-roofing
Paupack Township
– Exempts from building permit requirements detached residential carports, garages and greenhouses with a building area of 200 sq. ft. or less, and sheds with a building area of 300 sq. ft. or less.
– Exempts from building permits only residential work exempted by section 403.62 (c) of the UCC regulation and the International Residential Code.
– Limits the validity of building permits to 18 months from the date of issuance.
Sterling Township
– <i>Not Reported</i>
Texas Township
– <i>Not Reported</i>

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Westmoreland County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Westmoreland County

Table 1 of 1

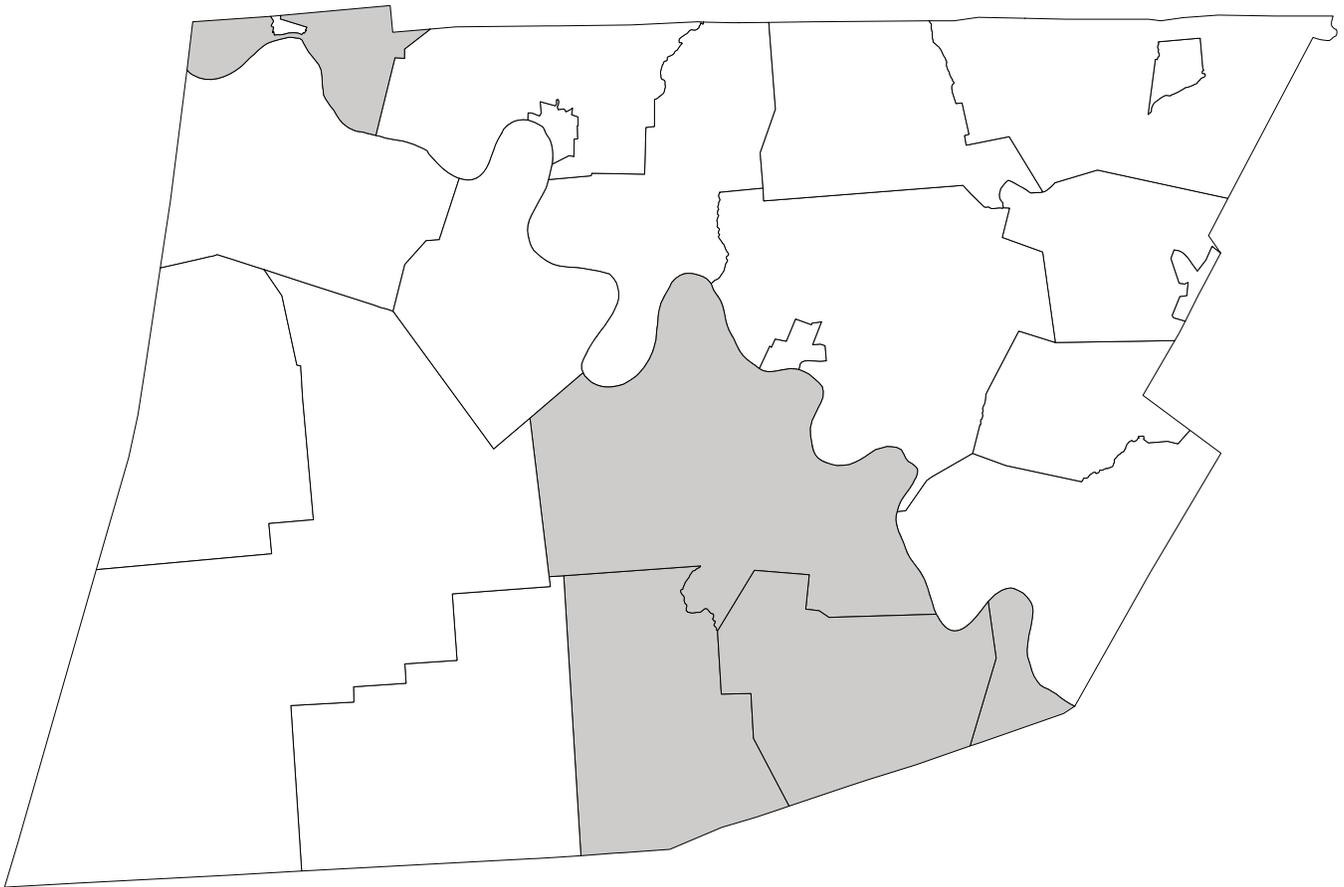
Amendment Types

Derry Borough
– <i>Not Reported</i>
Derry Township
– <i>Not Reported</i>
Greensburg City
– <i>Not Reported</i>
Irwin Borough
– <i>Not Reported</i>
Latrobe City Home
– <i>Not Reported</i>
Ligonier Borough
– Requires a building permit for outdoor fuel burning appliances, establishes specifications and limits the types of fuel for these appliances.
Madison Borough
– <i>Not Reported</i>
Monessen City
– <i>Not Reported</i>
North Belle Vernon Borough
– <i>Not Reported</i>
North Huntingdon Township
– <i>Not Reported</i>
North Irwin Borough
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Electrical wiring or service upgrades in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Adopted appendices of UCC codes (other than Fire Code) – Property Maintenance
South Greensburg Borough
– <i>Not Reported</i>
Unity Township
– Sewage connections
Vandergrift Borough
– <i>Not Reported</i>
West Newton Borough
– <i>Not Reported</i>

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Wyoming County



Legend

UCC Amendments*

-  None on record
-  Enacted pre July 1999
-  Enacted post April 2004
-  Both

*as of October 2012

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Wyoming County

Table 1 of 1

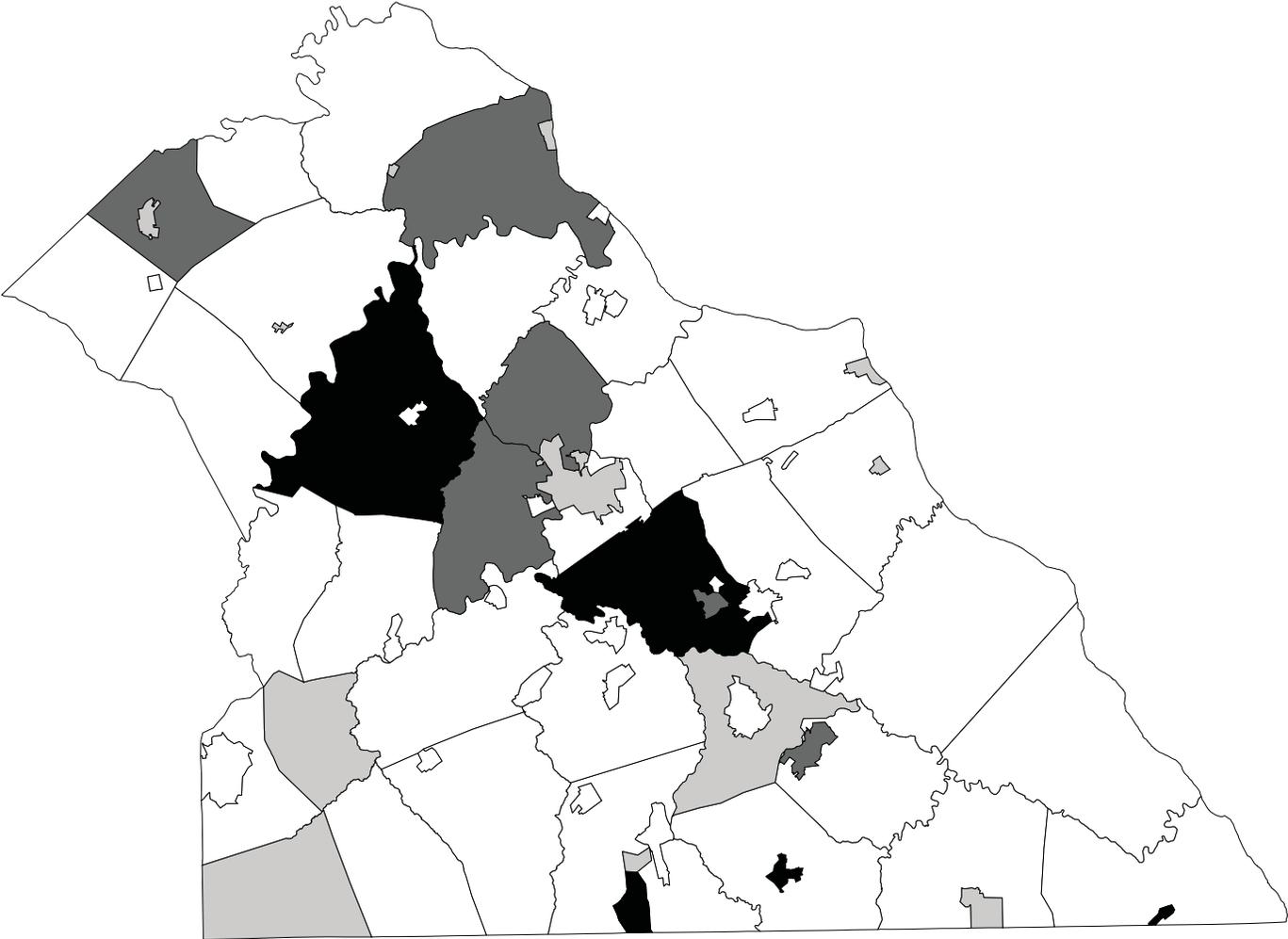
Amendment Types

Braintrim Township
– <i>Not Reported</i>
Eaton Township
– <i>Not Reported</i>
Exeter Township
– <i>Not Reported</i>
Monroe Township
– <i>Not Reported</i>
Northmoreland Township
– <i>Not Reported</i>

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York County



Legend

UCC Amendments*

- None on record
- Enacted pre July 1999
- Enacted post April 2004
- Both

*as of October 2012

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York County

Table 1 of 2

Amendment Types

Carroll Township
– Requires a building permit for residential utility and miscellaneous use structures that have a building area of 200 sq. ft. or more.
Cross Roads Borough
– Requires a building permit for residential utility and miscellaneous use structures in excess of 499 sq. ft.
Dallastown Borough
– Requires a building permit for all residential alterations and repairs, except where specifically exempted in this ordinance. Requires a building permit for all residential utility and miscellaneous use structures with a building area of more than 250 sq. ft.
Delta Borough
– Adopts Appendix F (Radon Control Methods) of the International Residential Code.
Dillsburg Borough
– <i>Not Reported</i>
Dover Township
– <i>Not Reported</i>
East Prospect Borough
– <i>Not Reported</i>
Fawn Grove Borough
– <i>Not Reported</i>
Goldsboro Borough
– All alterations, renovations, remodeling, and repairs to existing residential structures
– Electrical wiring or service upgrades in existing residential structures
– New piping and/or new plumbing fixtures in existing residential structures
Heidelberg Township
– <i>Not Reported</i>
Lewisberry Borough
– <i>Not Reported</i>
Manchester Township
– Adopts the requirements of 34 Pa Code §403.28 (b) for use in approving "uncertified buildings."
Newberry Township
– Requires a building permit for all residential utility and miscellaneous use structures with floor space of more than 120 sq. ft. or any such structure that is served by any utility.
– Requires a building permit for all residential alterations and repairs, except for replacement of the existing roof coverings.
New Freedom Borough
– Some alterations, renovations, remodeling, and repairs to existing residential structures
– New piping and/or new plumbing fixtures in existing residential structures
– Residential utility and miscellaneous use structures under 1,000 sq ft
– Requires a building permit for all residential alterations and repairs and establishes numerous exceptions. Requires a building permit for all residential utility and miscellaneous use structures with a building area of 240 sq. ft. or less.

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York County

Table 2 of 2

Amendment Types

North Hopewell Township
– <i>Not Reported</i>
North York Borough
<ul style="list-style-type: none"> – All alterations, renovations, remodeling, and repairs to existing residential structures – Some alterations, renovations, remodeling, and repairs to existing residential structures – Re-roofing – Siding and/or replacement windows – Electrical wiring or service upgrades in existing residential structures – New or replacement mechanical equipment in existing residential structures – New piping and/or new plumbing fixtures in existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Adopted appendices to the International Fire Code – Window
Railroad Borough
– <i>Not Reported</i>
Stewartstown Borough
<ul style="list-style-type: none"> – Some alterations, renovations, remodeling, and repairs to existing residential structures – Residential utility and miscellaneous use structures under 1,000 sq ft – Requires a building permit for all residential alterations and repairs, and establishes a number of exceptions. – Requires a building permit for all residential utility and miscellaneous use structures with a building area in excess of 240 sq. ft.
Wellsville Borough
– <i>Not Reported</i>
West Manchester Township
– Alters the definition of structure so as to require a building permit for temporary structures, including tents, canopies and membrane structures.
West Manheim Township
– <i>Not Reported</i>
Wrightsville Borough
– <i>Not Reported</i>
York City
– <i>Not Reported</i>
York Township
<ul style="list-style-type: none"> – Requires a UCC permit for residential alterations and repairs and outlines numerous exceptions. – Requires a building permit for all residential utility and miscellaneous use structures larger than 240 sq. ft.

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